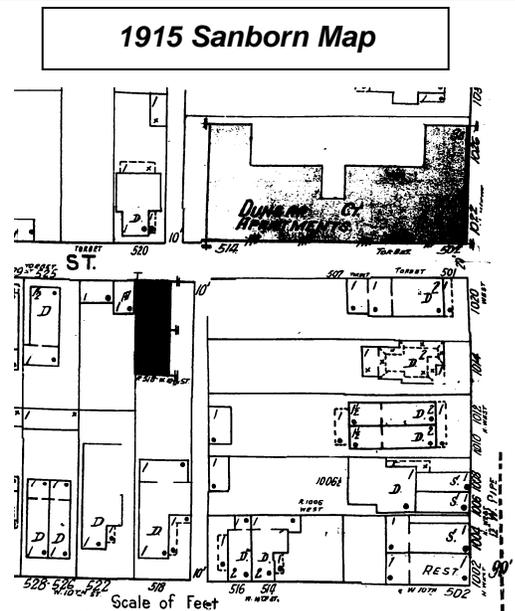


COA # 2009-COA-629 (RP)	INDIANAPOLIS HISTORIC PRESERVATION COMMISSION STAFF REPORT	Hearing Date OCT 6, 2010
1010 Dr Martin Luther King Jr Street RANSOM PLACE		Continued from: Sept 1, 2010 August 4, 2010 July 7, 2010 June 2, 2010 May 5, 2010 April 7, 2010 Center Township Council District: 9 Jackie Nytes
Applicant Feroze and Sons LLC, Mo Hanif mailing address: 441 E Ohio Street Indianapolis, IN 46204		
Owner: same		
CASE		
IHPC COA: 2009-COA-629 (RP) <ul style="list-style-type: none"> • Construct new structure, gas pump island and canopy • Site Improvements/landscaping 		
STAFF RECOMMENDATION: Denial		

STAFF COMMENTS

Background

This vacant site was originally made up of five parcels and was occupied by dwellings and shops (see 1915 Sanborn Map). By 1956, the site had been cleared. By 1962, a commercial gas station had been built on the site (see photo in attachments). This gas station was demolished with IHPC approval in 2005 by a previous owner, who then allowed the lot to be used for parking even though parking is not permitted. The present owner acquired the property recently and is requesting to use the site once again for a gas station with a convenience store and gas pump island/canopy. Testimony was given at the August hearing, and then this case was continued at staff's recommendation in September. No testimony was given at the September hearing.



Updates Since the August IHPC Hearing

Site Plan

At the August hearing, the Commission asked the applicant to provide a detailed landscape plan showing all plant materials, including the type of perennials that were going to be provided. Staff has not received this. It was also asked if the applicant could work out an arrangement with the adjacent strip mall owner to the west where a common access entrance could be provided to avoid having two entrances next to each other. The applicant indicated that they could probably do this. As of today, staff is unaware of any discussion with the other land owner about this issue. Staff and the Commission have raised concerns about whether or not the heavy traffic around the site would be problematic. Previously, DPW has indicated to staff that the south curb cut might be required to have reversed entrance/exit aisles to prevent cross-over traffic on 10th Street, which is one-way eastbound. Also, an island will be required at Dr. Martin Luther King Jr Street to prevent northbound traffic from turning left into the gas station. The applicant has indicated that they have sent their newly revised site plan to DPW, however, staff has not heard from the applicant on any preliminary review from DPW.

Maneuverability on the Site

At the last hearing, the issue of maneuverability was raised. Several Commission members commented on “tightness” of the site. The new site plan shows less pumps on the site and generally more room to maneuver, however, the turning radius drawing appears to show some complications with cars potentially in each other paths, particularly at the south entrance and west entrance. It also appears from the new site plan that the amount of space provided to enter and exit the site could be in direct conflict with the flow of the traffic moving on the site.

The commercial zoning ordinance references the Eighth Edition of the Architectural Graphics Standards. Staff is recommending that the final site plan be consistent with these standards:

Minimum parking lot and parking space dimensions.
The interior access drives, interior access driveways, drives, driveways, entrances, exits, aisles, bays and traffic circulation for parking lots and parking garages shall be designed and constructed at not less than the recommended specifications contained in Architectural Graphic Standards, Eighth Edition, Ramsey/Sleeper, John Wiley and Sons, Inc., New York, New York (a copy of which is on file in the office of the division of planning and is hereby incorporated by reference and made a part hereof).

Design of New Convenience Store/Gas Station Building and Canopy

Building:

The drawings currently show fiber cement siding in the tower gable, but staff suggested at the last hearing that this be modified to fiber cement panels instead. Since the August hearing, the fiber cement lap siding has remained and fiber cement panels are not shown on the plans. Several comments about the design of the building were also raised by the Commission. It was mentioned that the north and west sides of the building contained no windows and that windows or some type of articulation would improve these elevations. No windows or articulation have been added.

Canopy:

Since the last hearing, there have been changes in the size of the canopy. However, a comment made the Commission was that the canopy lacked character. Staff is unaware of any improvements to the design of the canopy since the last hearing. Generally, the appearance is the same, just smaller in size.

Communication with Concerned Citizens

Since the last hearing, staff is aware of discussions with IUPUI and the applicant, however, it is staff’s understanding that IUPUI still has questions. The Commission asked the applicant to carry out further discussions with neighborhood groups, and specifically mentioned IUPUI and MEDIC as well as requests for further communication from the Ransom Place Neighborhood Association. Staff is only aware of communications with IUPUI. Staff is also waiting to hear from the applicant regarding discussions with DPW and the State of Indiana.

Reasons for Denial

Staff believes that six months is adequate time to finalize appropriate plans. Staff recommends that this request be denied based on the following:

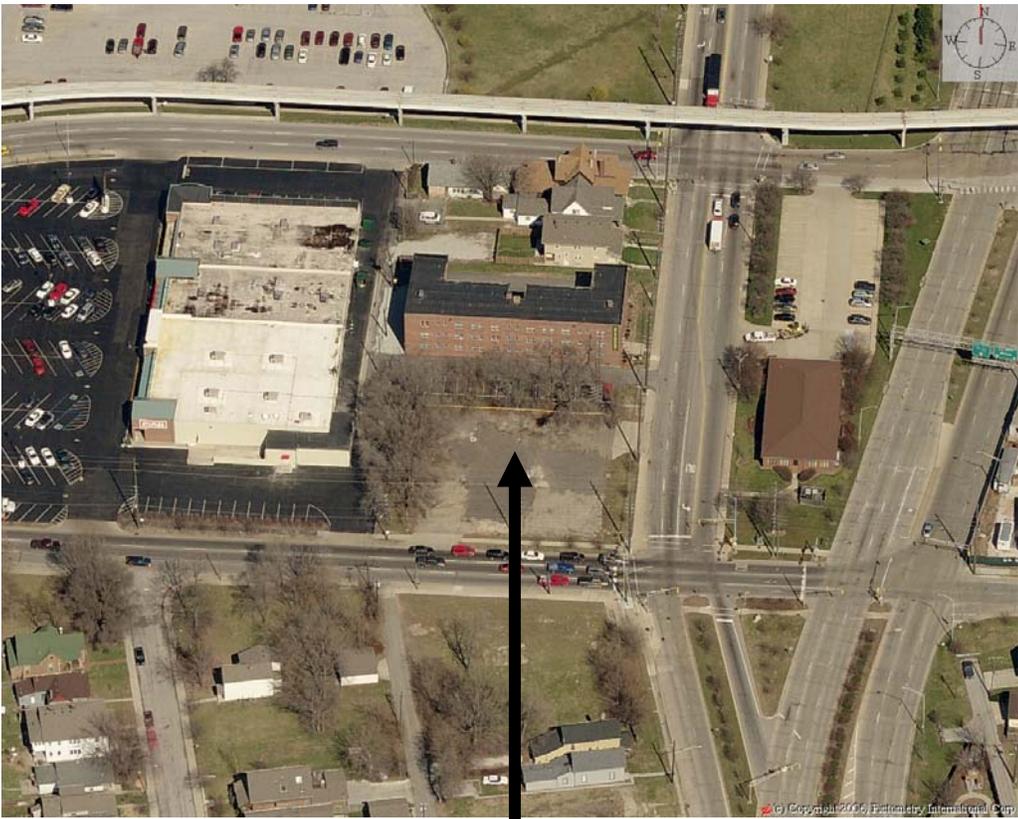
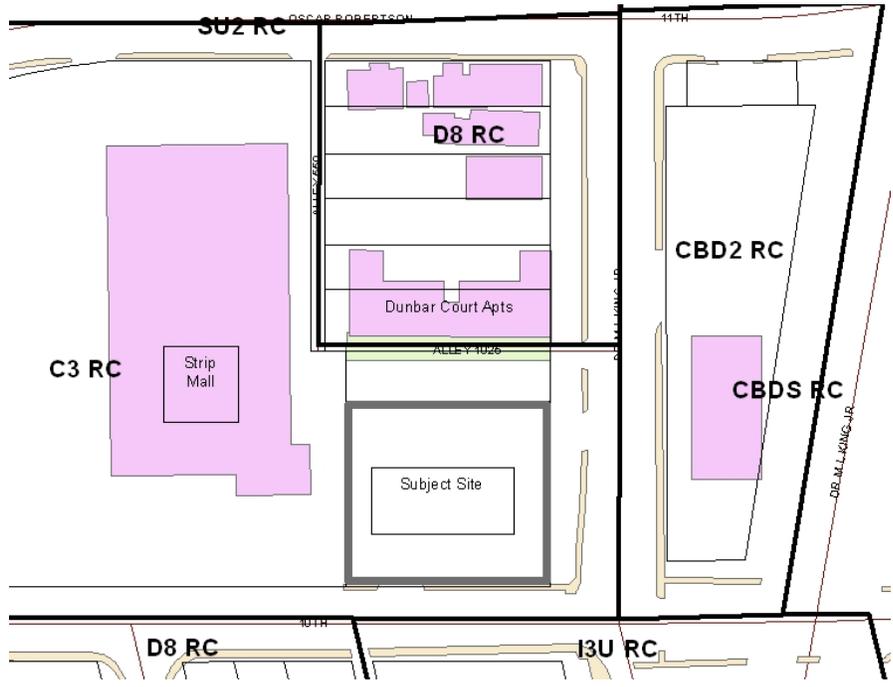
1. The building appears to be too large for the site causing strain on the usability of the parking spaces
2. The maneuverability on the site appears tight, especially at the pumps and entrances to the site
3. Even though the required number of parking spaces is available (14 needed, 17 provided), the maneuverability around these parking spaces is tight. This is partly due to the fact that the C-3 zoning ordinance allows the parking spaces at the pumps to be included in the calculation and because the building may be too large.
4. The applicant has not further developed the architecture of the building and canopy as requested

STAFF RECOMMENDED MOTION

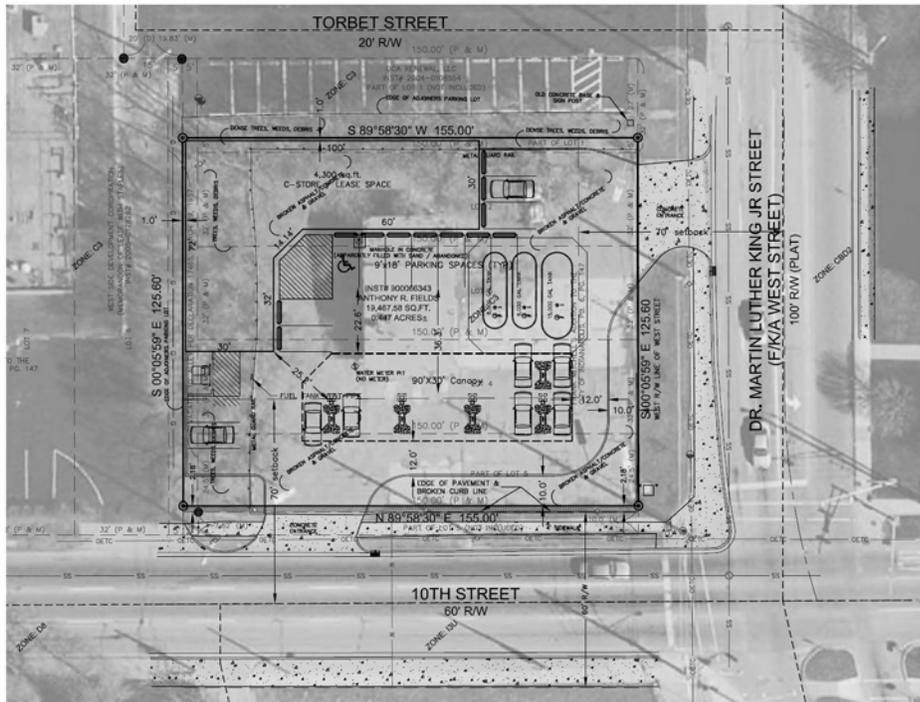
COA #2009-COA-629 (RP):

To deny a Certificate of Appropriateness or Authorization to construct a new gas station and convenience store structure, a canopy-covered gas pump island, and site improvements.

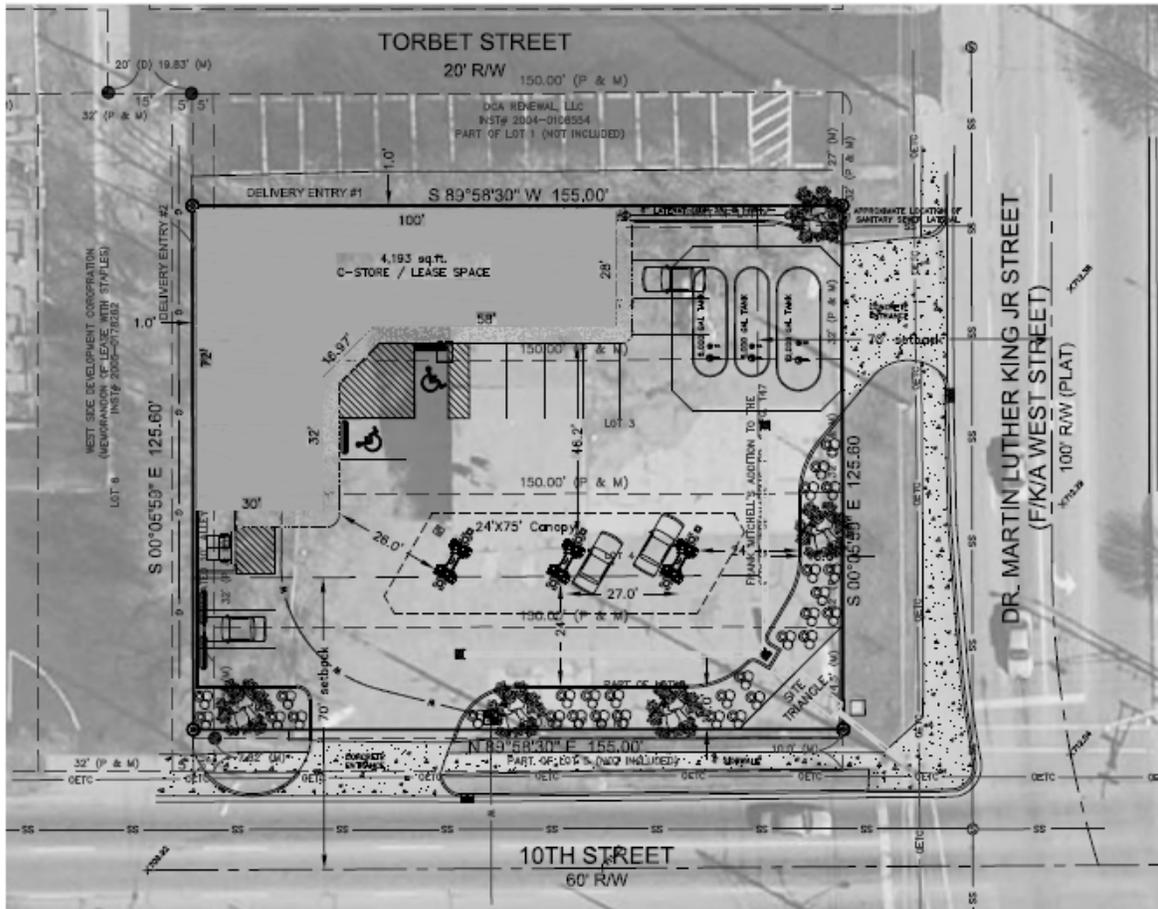
Staff Reviewer: Meg Purnsley



VIEW OF PROPOSED SITE



Above: Site Plan from August's Staff Report Below: Proposed Site Plan





Above: Photo of previous gas station on the site

Below: Photo of canopy cornice to be used for design of proposed canopy
Cornice, as noted in the recommended stipulations.





Above: View of site

Below: Traffic on 10th Street (site on the left)





Above: Sidewalk area along 10th St. (site on the right)

Below: Sidewalk along Dr. MLK Jr. St and Dunbar Court Apartments
(site on the left)





MLK C-STORE
OVERALL PERSPECTIVE

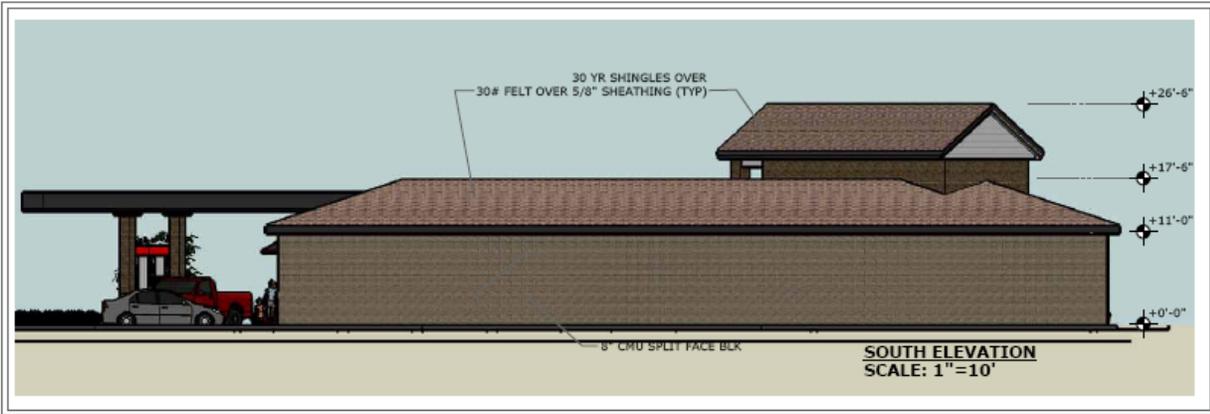
Drawn by: River Group Architecture | March 03, 2010

Above: New Rendering
Below: Old Rendering (from August)

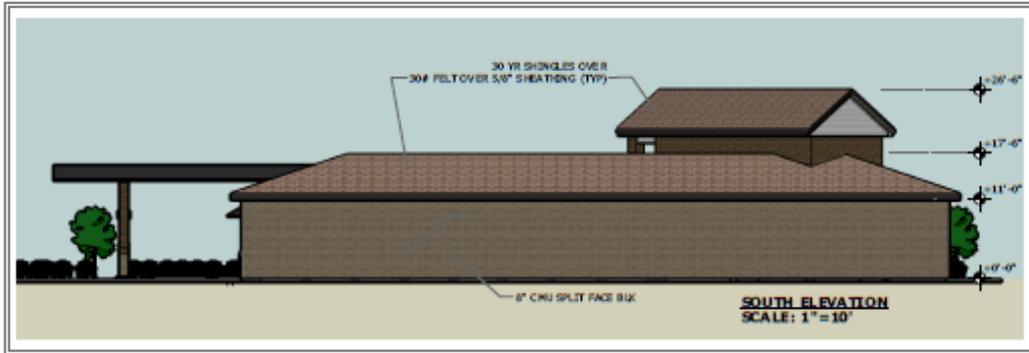


MLK C-STORE
OVERALL PERSPECTIVE

Drawn by: River Group Architecture | March 03, 2010



Above: New Elevations
Below: Old Elevations



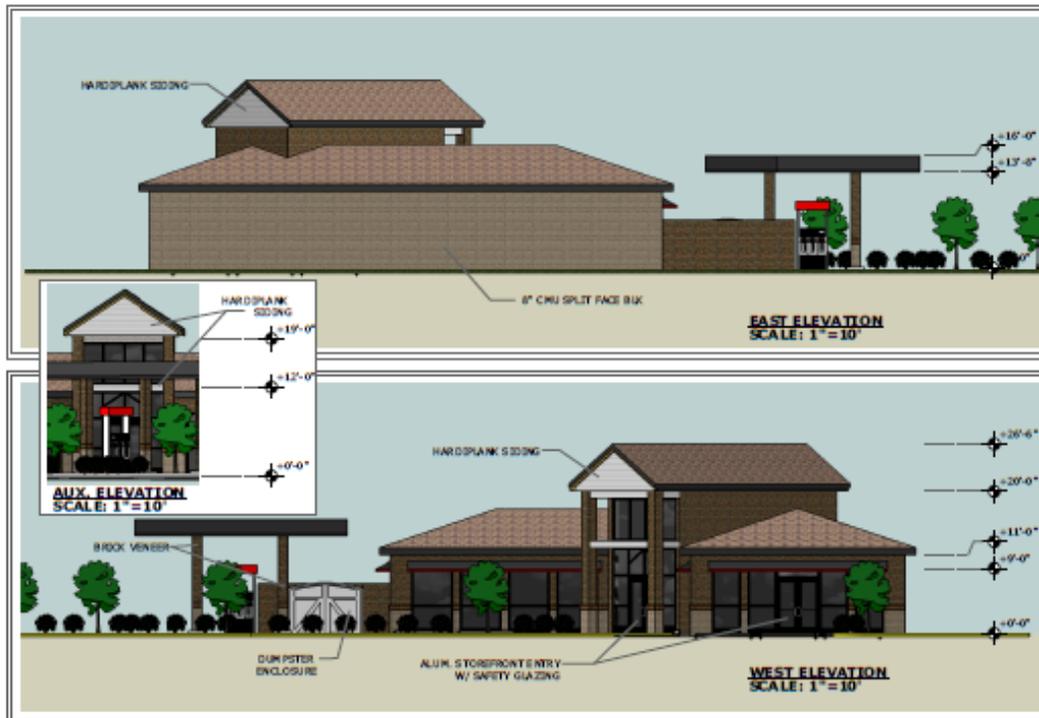


MLK C-STORE
ELEVATIONS

Drawn by: River Group Architecture | March 03, 2010

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Above: New Elevations
Below: Old Elevations



MLK C-STORE
ELEVATIONS

Drawn by: River Group Architecture | March 03, 2010

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