

COA # <b>2010-COA-086</b> (ONS)	<b>INDIANAPOLIS HISTORIC PRESERVATION COMMISSION</b> <b>STAFF REPORT</b>	Hearing Date <b>MAY 5, 2010</b>
		NEW CASE
<b>1249 N ALABAMA ST</b> <b>OLD NORTHSIDE</b>		
Applicant <b>KEVIN MOREHEAD</b> mailing address: 3359 N. Ruckle St Indianapolis, IN 46112		Center Township Council District: 9 Jackie Nytes
Owner: <b>Deeper Life Church/Crusaders for Christ</b>		
<b>CASE</b>		
<b>2010-COA-086 (ONS)</b>	Replace historic slate roof with new asphalt shingle roof	
<b>STAFF RECOMMENDATION: Approval of a Certificate of Authorization</b>		

<b>STAFF COMMENTS</b>
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**Background of the Property**

The church was constructed c. 1895 as the second location of the former Friends Church. It contains fine Romanesque Revival detailing, including terra cotta insets, wheel windows, round arch and jack arch lintels. The Friends sold the church in 1955 and since then there have been several owners. Presently, the building is owned by Deeper Life Christian Church, Inc., and is zoned D-8.

The building is sited at the corner of Alabama and 13<sup>th</sup> Street with its main entrance and primary elevation fronting Alabama. The original roof plan consisted of a cross gable plan. Sometime between 1915 and 1927 another gable roof addition, the subject of this application, was built at the northeast corner of 13<sup>th</sup> Street and Ogden St (alley).

In June 1983, a previous owner received a Certificate of Appropriateness to “install new roofing shingles (#09 Heritage Gray) as manufactured by Celotex or equivalent, to match existing slate color as close as possible.” For reasons unknown, the roof on the gable addition at the rear was not replaced at that time, and presently there are two colors of asphalt shingles on the roof, with the main color being a charcoal and a burnt sienna color being the secondary color. The current owner is now requesting to replace the remaining deteriorated slate with asphalt shingles in a color similar to the existing slate.

**Condition of the Existing Slate Roof**

The roof is a dark gray/green Vermont slate. All evidence indicates the slate material is original to the addition, between 83 and 95 years old, and reaching the end of its expected life. The applicant indicates the roof is leaking in multiple locations in the addition and more severely in the valley between the two gable additions where the slate roof meets the asphalt roof. Visual inspection from the ground shows missing, shedding and delaminating shingles.

**Repair/Replacement Options**

The applicant has considered the following:

1. ***Replace the original slate roof with a new slate roof:***  
The applicant received a bid for replacement of the roof with a new slate roof for \$140,000 - \$170,000. The applicant doesn't wish to pursue this option due to the extensive economic investment and because it would severely limit funds available for ongoing maintenance and other restoration projects on the property.
2. ***Replace slate roof with an asphalt shingle roof:***  
The applicant's bid to replace the existing slate on the gable addition with asphalt shingles is \$5,000.

**3. Repair the existing slate roof:**

It is not the applicant’s desire to repair the existing roof and no bid for repair of the existing roof was submitted for comparison, however, it is reasonable to assume that repair of the existing slate would exceed the \$5,000 estimate to replace the roof with new asphalt shingles. Also, the result would only be temporary because the remaining slate is approaching the end of its life.

**Asphalt Replacement**

Ideally, staff would prefer repair of the roof or replacement with a new slate roof or a simulated slate roof. However, because of the age of the shingles, repair does not logically seem to be the best investment as it offers no warranty for anticipated continued failure. And, financially, the owner does not find new or simulated slate to be a viable option. Additionally, replacing with asphalt will allow the eastern addition to have roofing material to match the primary portion of the structure.

**Old Northside Preservation Plan**

“Consider:

- Retaining the original roofing material, whenever possible.
- Replacing deteriorated roof coverings with new material that matches the old in composition, size, shape, color, and texture.”

“Avoid:

- Applying new roofing material that is inappropriate to the style and period of the building and neighborhood.
- Replacing deteriorated roof coverings with new materials which differ to such an extent from the old composition, size, shape, color, and texture that the appearance of the building is altered.”

**Certificate of Authorization**

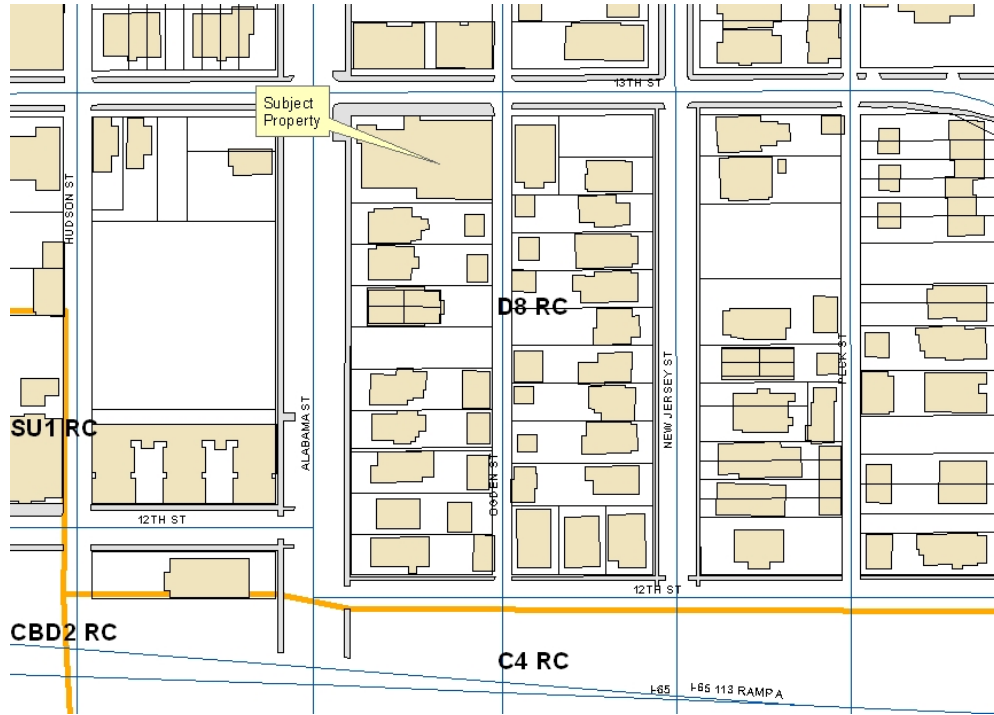
Staff believes a certificate of authorization is warranted for replacing the damaged roof of original slate tiles with asphalt shingles. The IHPC statute states that “...if the commission finds... any application to be inappropriate, but that its denial would result in substantial hardship or deprive the owner of all reasonable use and benefit of the subject property, or that its effect upon the historic area would be insubstantial, the commission shall issue a certificate of authorization.” Reasons for approval include:

1. Replacement with asphalt shingles was approved in 1983 and the major portions of the roof were replaced at that time, giving the owner reasonable expectation to believe that replacement of the remainder would be acceptable.
2. It would be unreasonable to require only one section of the roof (the least visible one) to be replaced with new slate when the bulk of the roof had already been replaced in accordance with an approved COA.
3. With more than 2/3 of the structure’s roof already covered in asphalt shingles, removing the slate from the least visible portion of the building and installing new roofing to match the rest of the building would be an insubstantial effect.
4. In excess of \$140,000 to replace just the rear portion of the roof with new slate poses a clear and understandable hardship not only on the owner but on the continued preservation of the rest of the property.

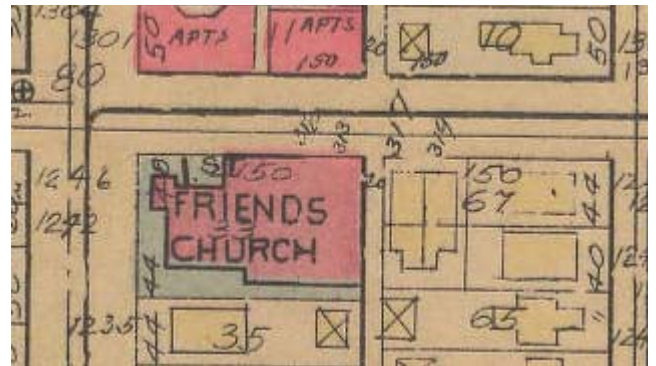
**STAFF RECOMMENDED MOTION**

**2010-COA-086 (ONS): To approve a Certificate of Authorization to replace the existing slate roof on the rear addition at the corner of 13<sup>th</sup> Street and Ogden Street with asphalt shingles per submitted documentation and subject to the following stipulations:**

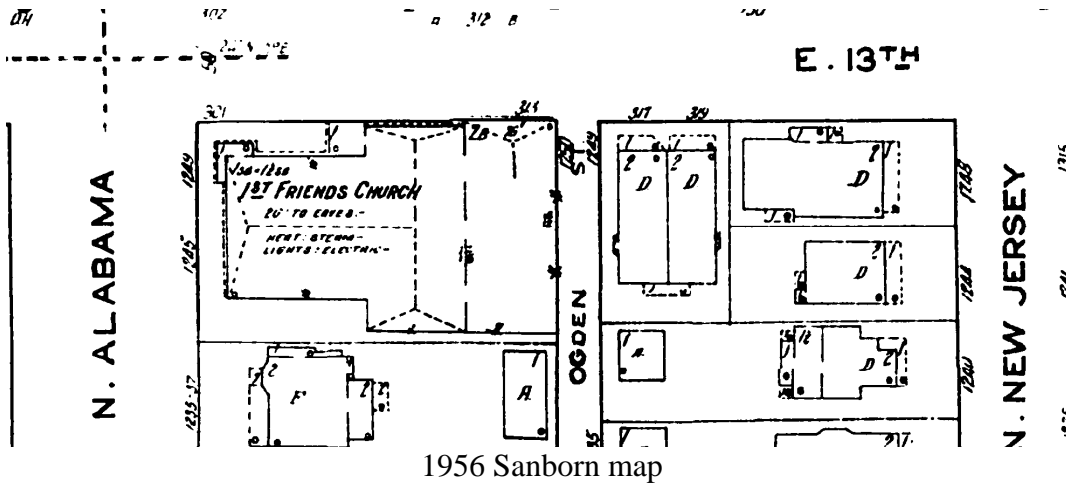
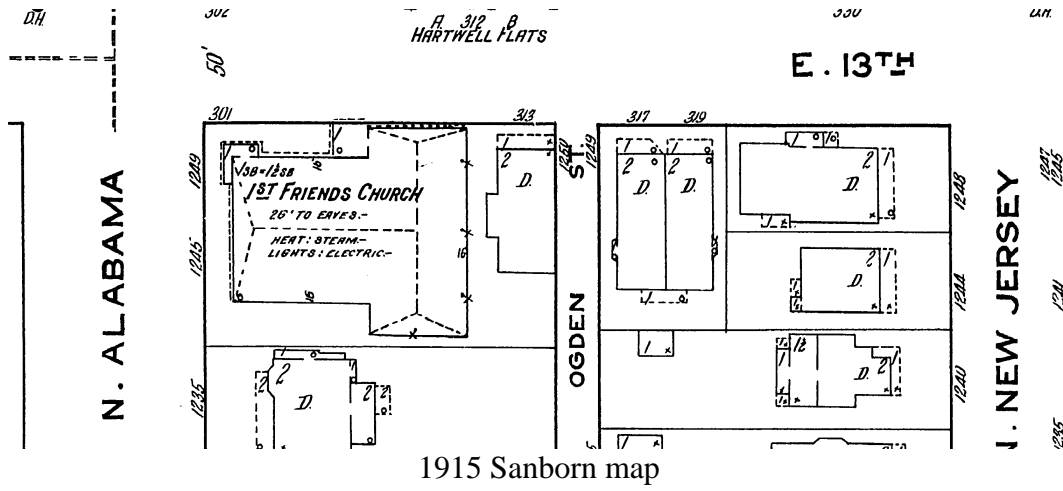
- 1. New roofing shingles shall be dimensional asphalt shingles in a color to be approved by IHPC staff.  
Approved: \_\_\_\_\_ Date: \_\_\_\_\_**
- 2. No alterations to the roof size, shape or pitch are approved with this certificate.**
- 3. Roof decking may be repaired or replaced where necessary. Where roof decking is exposed at eaves, the decking shall match the existing material that it replaces. Plywood or other decking material may be used in areas where it is not visible.**
- 4. Flashing shall be pre-finished or painted.**
- 5. Roof vents shall be ridge vents only, not box vents.**



Historic Photo of the building c. 1895



1927 Baist Map



Gable addition with slate remaining





Aerial view of roof – looking north



Aerial view of roof – looking south



Aerial view – looking east



Aerial view – looking west



northeast corner of roof – looking southwest



Detail of northeast corner of roof – looking southwest



View of slate looking southeast

# JOB ESTIMATE PROPOSAL



## INDIANAPOLIS ROOFING & SHEET METAL CORP

2828 N. Catherwood Ave.  
 Indianapolis, IN. 46219  
 Office 317-591-1250 Fax 317-591-1252

DATE: 04/27/10  
 PREPARED FOR: **Alabama Church**  
 1249 N. Alabama St.  
 Indianapolis, IN.

*We are pleased to submit the following cost estimate:*

JOB Re-roof eastern portion of church

DESCRIPTION: \_\_\_\_\_

DESCRIPTION	TOTAL
<b>Slate section</b>	
1. Have IPL wrap or redirect power lines on east side to accomodate safety issues.	
2. Set up scaffold on east and north sides of roof section.	
3. Remove existing slate roof down to the decking and dispose of off site.	
4. Overlay deck with new plywood sheeting and anchor to deck on sloped section.	
5. Install ice and watershed at parapet walls, gutter and ridge.	
6. Install new slate on roof. Style and color to be chose by owners	
7. Install new commercial box gutter and downspouts on east of building.	
<b>Flat, valley portion between roof sections</b>	
1. Tear off existing roof systems down to the deck and dispose of offsite.	
2. Inspect decking and replace at a cost of \$4.00 per sq ft as needed.	
3. Install a new cold applied modified roof system with insulation.	
4. Fabricate and install new scupper boxes and downspouts on north and south end	
5. Remove and dispose of deteriorated metal wall caps N & S parapet walls	
6. Fabricate and replace metal coping cap on walls	
7. Tie new roof system into new slate section and western shingle section.	
NOTE: Until the metal is removed from the parapet walls, the condition of the brick cannot be determined. Once it is inspected and needs repaired, it will be done on a time and material basis.	
<b>THE PROPOSAL IS ONLY A BUDGET COST. WITH MORE TIME, A MORE DEFINED QUOTE CAN BE PROVIDED.</b>	
<b>RESPECTFULLY SUBMITTED</b>	<b>TOTAL</b>
	<b>\$140,000 - \$170,000</b>

**JIM HELVIE**

**ESTIMATE IS VALID FOR 45 DAYS**

A 5% fee will be imposed on any payment not made subject to above terms.  
 Certificates of liability and workers compensation insurance are available upon request

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work specified. Payment will be made as outlined above.

*\*\*\*It is unwise to pay too much but it's worse to pay too little. When you pay too much, you lose a little money-that is all. When you pay too little, you sometimes lose everything, because the thing you bought was incapable of doing the thing it was bought to do.*

*The common law of business balance prohibits paying a little and getting a lot - it can't be done. If you deal with the lowest bidder, it is well to add something for the risk you run and if you do that you will have enough to pay for something better.\*\*\* 'John Ruskin'*

DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_