

<p align="center"><b>COA #</b> <b>2015-COA-243 (FP)</b> <b>2015-VHP-023</b></p>	<p align="center"><b>INDIANAPOLIS</b> <b>HISTORIC PRESERVATION COMMISSION</b> <b>STAFF REPORT</b></p>	<p align="center"><b>Hearing Date</b> <b>AUGUST 19,</b> <b>2015</b></p>
<p align="center"><b>638 VIRGINIA AVE</b> <b>FLETCHER PLACE</b></p>		<p align="center"><i>Continued from:</i>  <i>August 5, 2015</i></p>
<p><b>Applicant &amp; mailing address:</b></p>	<p>Craig McCormick/ Blackline 1 N. Meridian Street, Studio 400 Indianapolis, IN 46204</p>	<p align="center">Center Twp. Council District: 19 Jeff Miller</p>
<p><b>Owner:</b></p>	<p>638 VA LLC 6402 Cornell Ave Indianapolis, IN 46220</p>	
<p align="center"><b>COMBINED CASE</b></p>		
<p><b>IHPC COA: 2015-COA-243 (FP)</b></p>	<p>Approval of a Certificate of Appropriateness for:</p> <ul style="list-style-type: none"> <li>• Construction of an outdoor seating/deck area</li> <li>• Rear addition</li> <li>• Parapet</li> <li>• New storefront system</li> <li>• Site improvements</li> <li>• Restoration of building</li> <li>• Add window openings</li> <li>• Dumpster with enclosure</li> <li>• Privacy screen</li> </ul>	
<p><b>2015-VHP-023</b></p>	<p>Variances of Development Standards to allow:</p> <ul style="list-style-type: none"> <li>• Reduced rear yard setback,</li> <li>• Alcoholic beverage carry-out</li> <li>• Less off street parking</li> <li>• Maneuvering in public right-of-way</li> <li>• Outdoor storage</li> </ul>	
<p><b>STAFF RECOMMENDATION: Continue to the Sept. 2, 2015 IHPC Hearing</b></p>		

The applicant has asked for a continuance of the above case to the Sept. 2 IHPC hearing.

<b>Staff Reviewer:</b> Meg Purnsley
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<b>COA # 2015-COA-293 (HMP)</b>	<b>INDIANAPOLIS HISTORIC PRESERVATION COMMISSION STAFF REPORT</b>	<b>Hearing Date AUG. 19, 2015</b>
<b>1621 N. NEW JERSEY ST. HERRON MORTON PLACE</b>		<i>Continued from: August 5, 2015</i>
<b>Applicant &amp; mailing address:</b>	<b>SANFORD GARNER, ARCHITECT</b> 456 N. Meridian Street Indianapolis, IN 46202	Center Twp. Council District 9 Joseph Simpson
<b>Owner:</b>	Jonathan Brown c/o Waldo Investments LLC 4114 Timber Court Indianapolis, IN 46250	
<b>EXPEDITED CASE</b>		
<b>IHPC COA: 2015-COA-293 (HMP)</b>	<ul style="list-style-type: none"> <li>• <b>Modify rear addition</b></li> <li>• <b>Construct new addition</b></li> <li>• <b>Renovate house</b></li> <li>• <b>Construct detached 2-car garage</b></li> <li>• <b>Modify front porch railing</b></li> </ul>	
<b>STAFF RECOMMENDATION: Approval</b>		

<b>STAFF COMMENTS</b>
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**Background of the Property**

The subject site was originally the location of two single family houses. One house remains and the other was demolished sometime between 1972 and 1978. Both lots are still known as 1621 N. New Jersey Street. The shapes of the lots were modified at some unknown time. The applicant is in the process of combining the lots through the Marion County Recorder’s Office to make one lot that is 54 feet wide and 156 feet long.

**Background of this Case**

On July 15, 2015, the IHPC granted approval to rezone this property from C-4 (commercial) to D-8 (residential.) This was done because the owner planned to develop the property residentially. At that time, his intent was to create two lots and restore the historic house on one lot and build a new house on the other lot. He has subsequently found that the “vacant” lot is narrower than he anticipated, so his intent is now to restore the historic house and use the vacant land south of the house as a side yard.

**Project Description**

**Modify rear addition**

As part of the renovation of the entire house, the applicant is proposing to modify the 1 ½ story rear addition by removing a part of the addition to make way for a balcony and patio space to function as a connector to the propose new addition. The siding will still be wood.

**Construct new addition**

The new addition is an expansion off the modified rear historic addition. The addition will be contemporary in design but will also be complimentary to the overall character of the house is mass and materials. The roofline and overall scale of the new addition will be similar to the roofline and overall scale of the front of the house, almost mirroring the design. The siding and windows on the new addition will also be wood. The

architect has noted on the plans that the trim on the house and addition will be fiberglass, however, that is an error. The trim will be wood throughout.

### Renovate House

The applicant plans to renovate the entire house, which has been vacant for some time and has a significant amount of deterioration. The applicant plans to restore the siding, replace the windows with new wood windows, rebuild a new wood front porch and restore the original wood details and trim that remain.

### Construct Detached Garage

The applicant plans to construct a detached two-car garage that will be built to compliment the overall design of the house. The garage will be clad in fiber cement siding or with smooth wood lap siding. The garage is centered behind the house with a 9 foot setback off the alley.

### Modify Front Porch

The front porch is a concrete and brick porch believed to have been added to the house in the 1940s or 50s. There are inappropriate wood columns and brick railing walls that need to be removed. The concrete floor and porch roof will remain. The architect's drawings show a new cable-wire front railing. Staff has encouraged the architect to rethink the front railing and consider something more traditional like vertical wood rails. He will modify the porch railing design for the final construction drawings.



### Herron-Morton Place Historic Area Plan

The Plan states the following regarding renovation of historic buildings and new construction of accessory structures:

- Accessory buildings should be located behind the existing historic building unless there is an historic precedent otherwise. Generally, accessory buildings should be of a secondary nature and garage should be oriented to alleys
- Additions should be located away from the front façade and at the rear.
- The scale, height, size and mass should relate to the existing building and not overpower it. The mass and form of the original building should be discernible, even after an addition has been constructed. Additions and accessory building should be discernable as a product of their own time.

Staff believes the proposed project meets these guidelines.

**STAFF RECOMMENDED MOTION**

COA #2015-COA-293(HMP):

To approve a Certificate of Appropriateness to:

1. Modify the rear addition
2. Construct a new rear addition
3. Renovate the house
4. Modify front porch railing
5. Construct detached 2-car garage

As per submitted documentation and subject to the following stipulations:

**DCE: PERMITS MAY NOT BE ISSUED until stipulations number 1, 2 and 3 are fulfilled.**

1. Construction must not commence prior to approval by the IHPC staff of final construction drawings including front porch railing consistent with the comments in the August 19, 2015 staff report. *Approved \_\_\_\_\_ Date \_\_\_\_\_*
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction.  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*
3. The site shall be field staked (no offsets) showing the four corners of the garage and the corners of the new addition. Stakes must be checked and approved by IHPC staff prior to the issuance of permits. *Approved \_\_\_\_\_ Date \_\_\_\_\_*
4. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, utility and mechanical equipment placement, etc.
5. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.
6. All replacement materials shall match the original materials for which they replace. All new materials shall have the same color, surface texture, and method of construction.
7. All original materials on the historic building shall be restored and retained where possible.
8. New windows must fit the existing openings; altering existing openings is NOT permitted unless indicated on the approved plans.
9. All new, repaired, and/or rebuilt elements shall replicate the documented historic appearance of the windows per IHPC photographs.
10. Any new windows must be solid wood. A cut sheet of all new windows and doors shall be submitted to IHPC staff and approved prior to installation. *Approved \_\_\_\_\_ Date \_\_\_\_\_*
11. Any deviation from this approach shall be approved by IHPC staff prior to construction.
12. Any replacement siding or trim must be solid wood. Any knots or surface imperfections shall be filled to achieve a smooth appearance, sanded and primed. Rough-sawn finishes are not permitted.
13. Permanent Coating Systems are not considered appropriate for painting and this certificate does not approve the use of such materials.
14. No alterations to roof size, shape, or pitch are permitted with this approval.
15. Roof decking may be repaired or replaced where necessary. Where roof decking is exposed at eaves, the decking shall match the existing historic material that it replaces. Plywood or OSB decking material may be used in areas where it will be covered by roofing or overhang

materials.

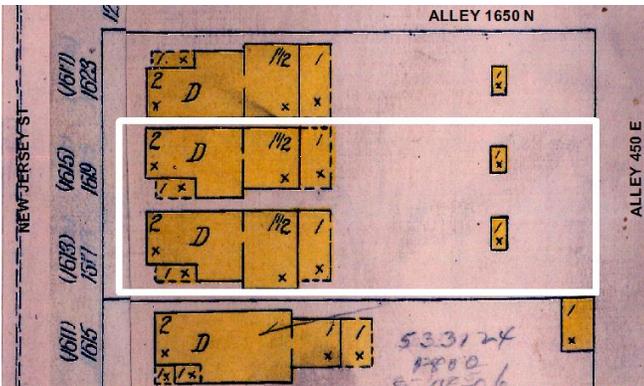
16. Mortar must be approved by IHPC staff prior to commencement of work.

Approved \_\_\_\_\_ Date \_\_\_\_\_

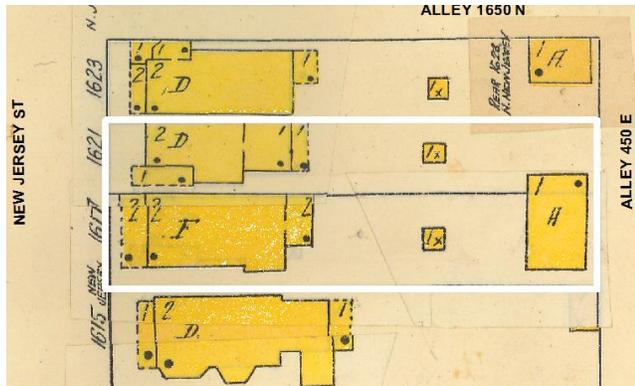
Staff Reviewer: Meg Purnsley



Location in Herron-Morton Place



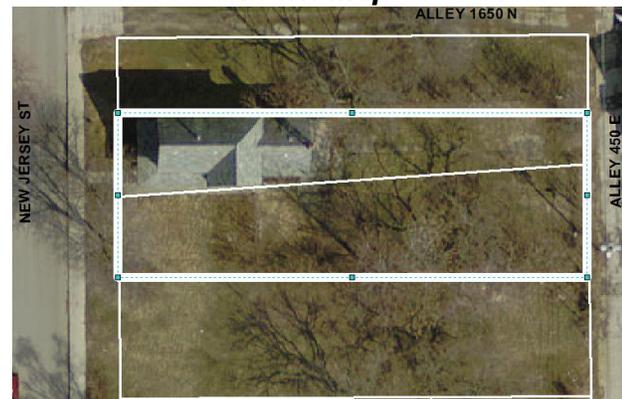
1898 Sanborn Map



1915 Sanborn Map



1972 Aerial Photo

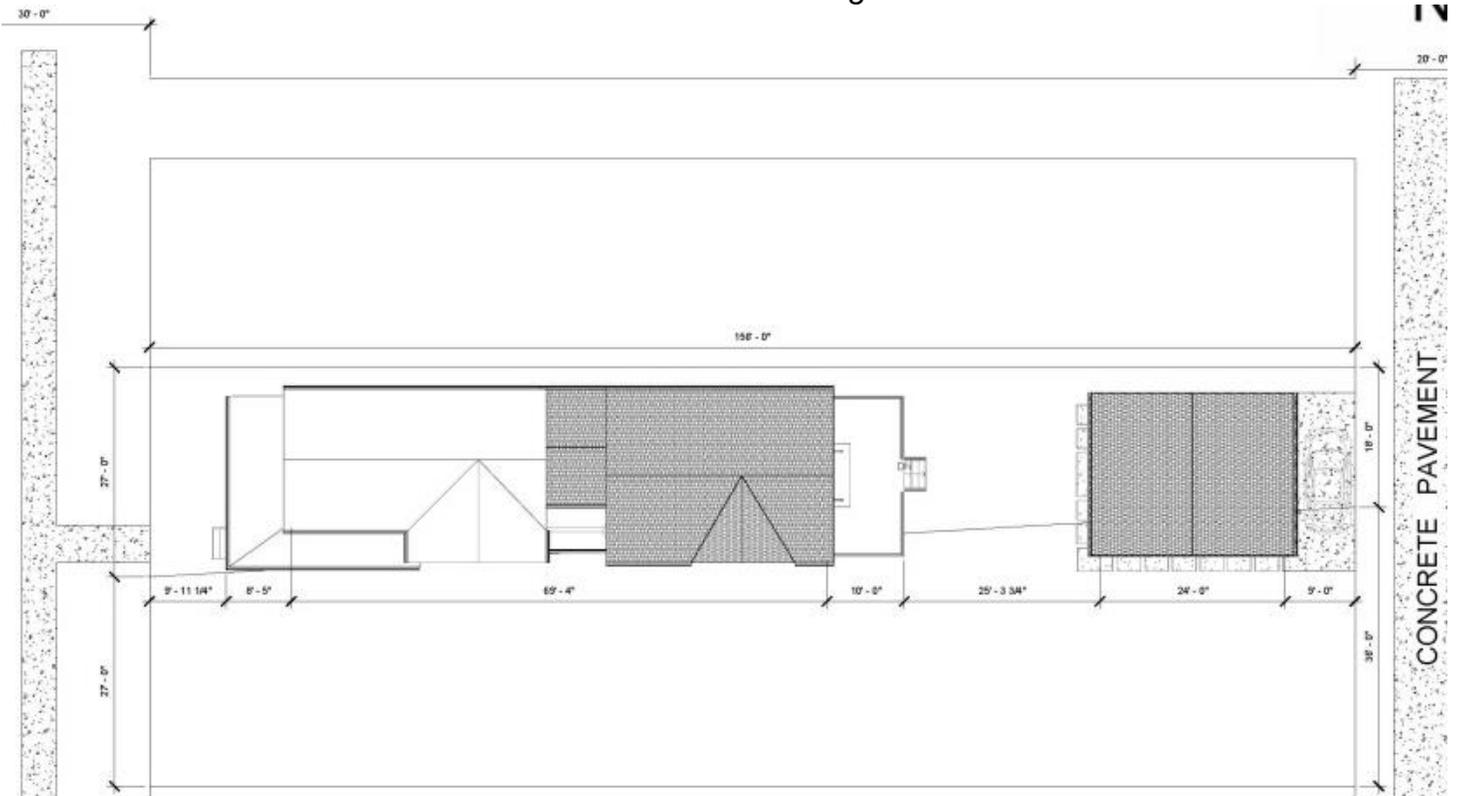


2015 Aerial Photo w/ Parcel Lines

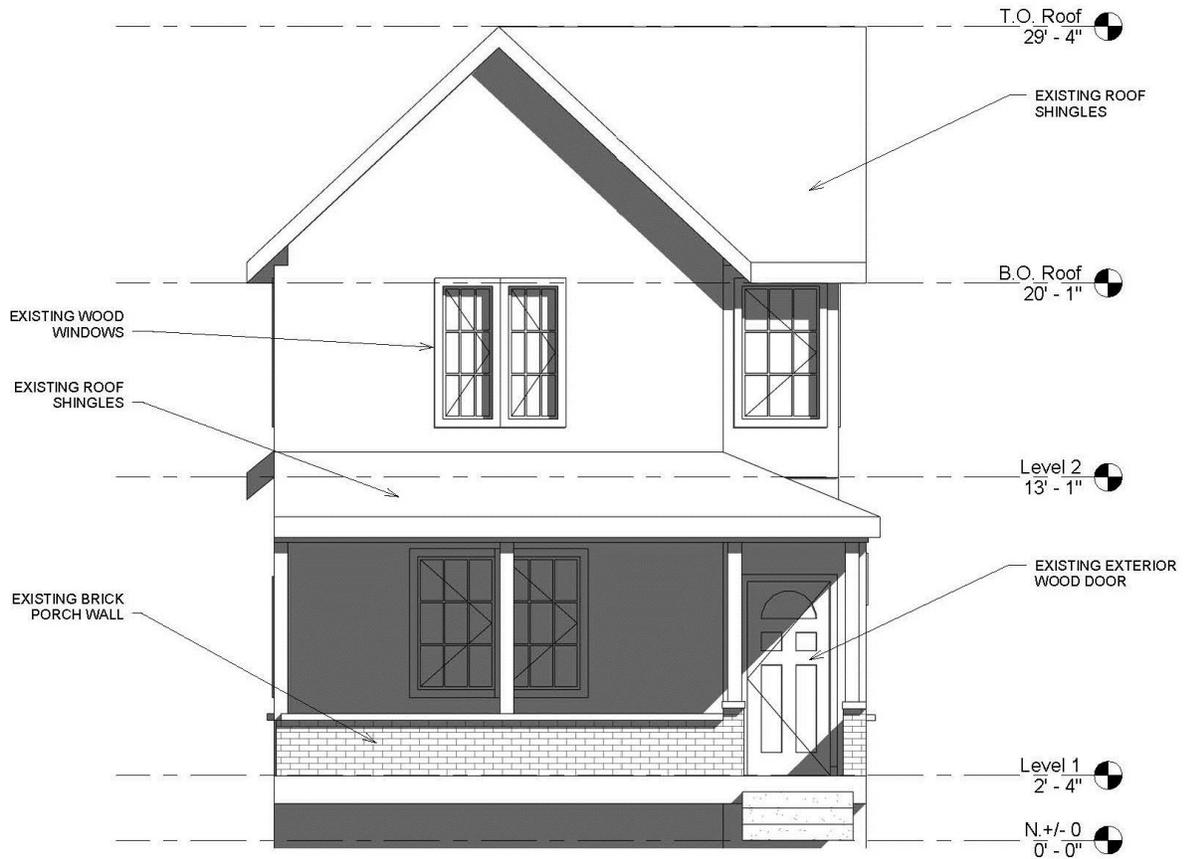




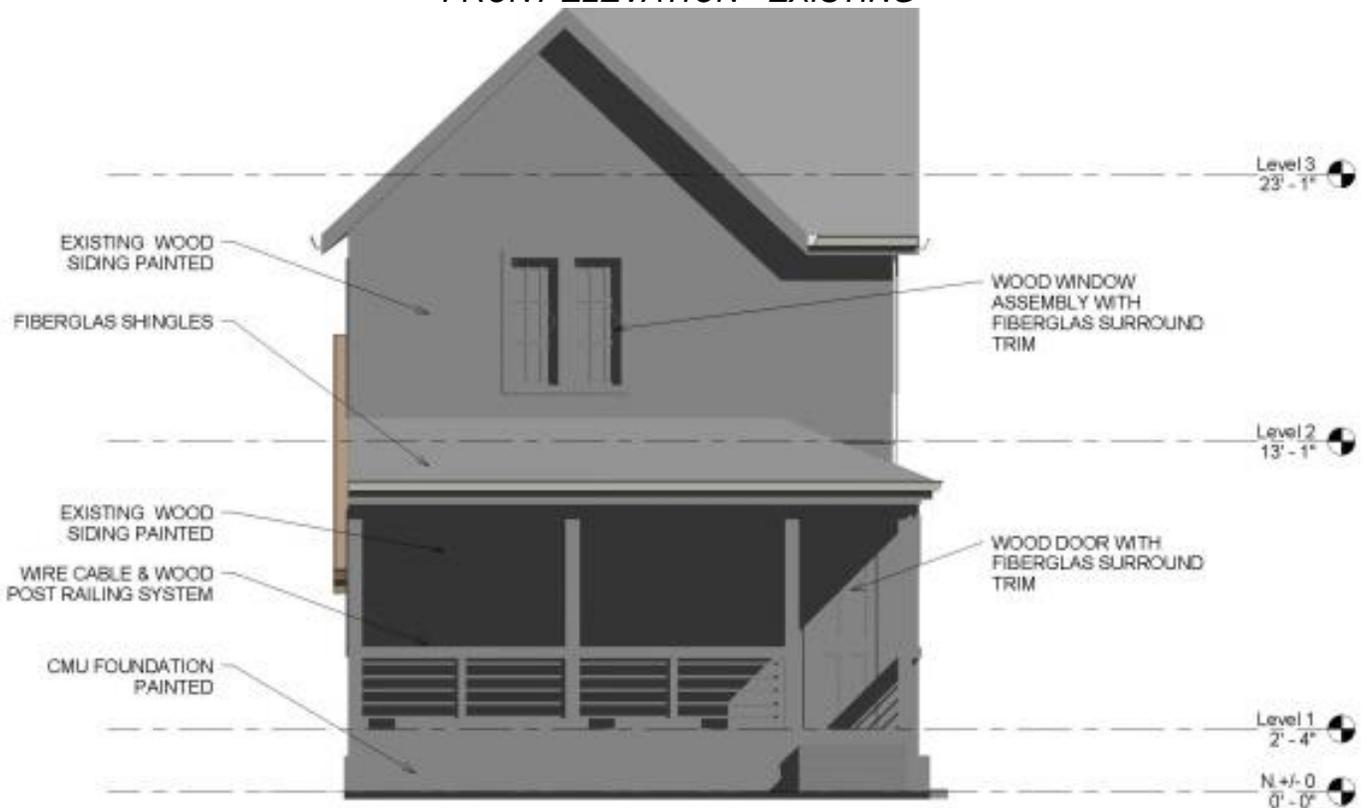
Rear Elevations of the existing house



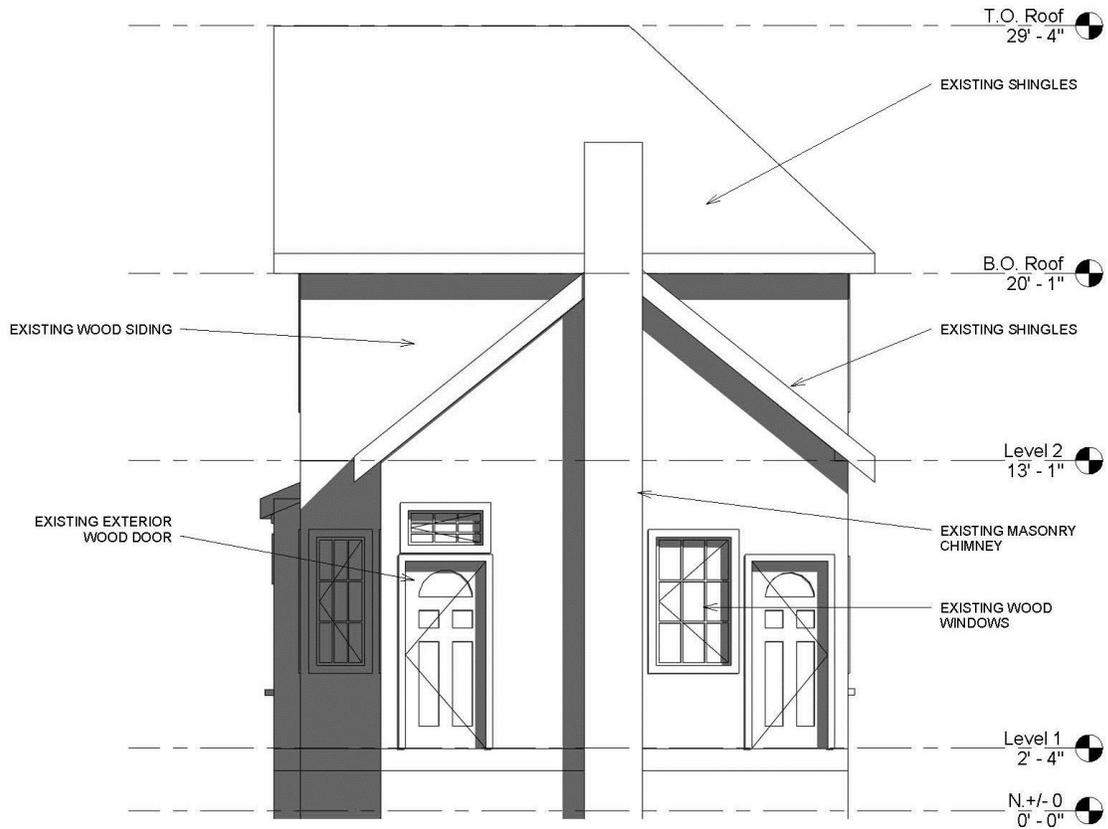
SITE PLAN



**FRONT ELEVATION - EXISTING**



**FRONT ELEVATION - RENOVATION**



**REAR ELEVATION – EXISTING**



**REAR ELEVATION – WITH NEW ADDITION**



**SOUTH SIDE ELEVATION – EXISTING**



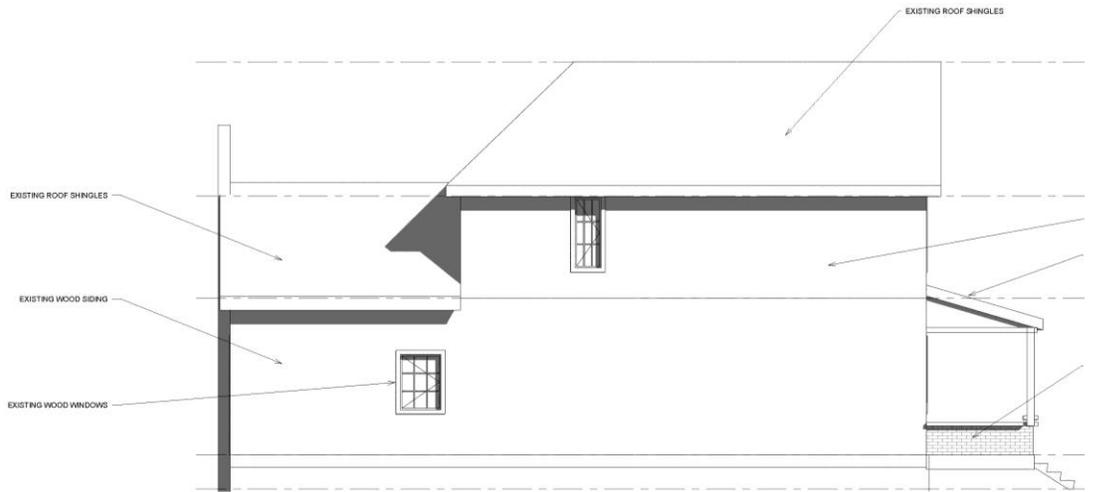
**SOUTH SIDE ELEVATION – WITH NEW ADDITION**



**EXISTING BUILDING**

**PROPOSAL**

**NEW GARAGE**

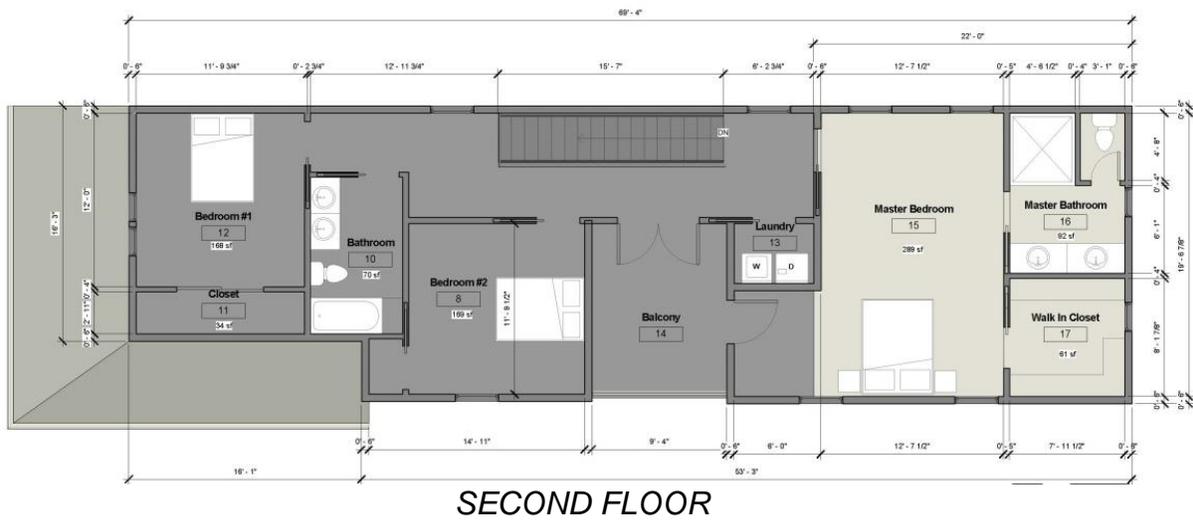


**NORTH SIDE ELEVATION – EXISTING**



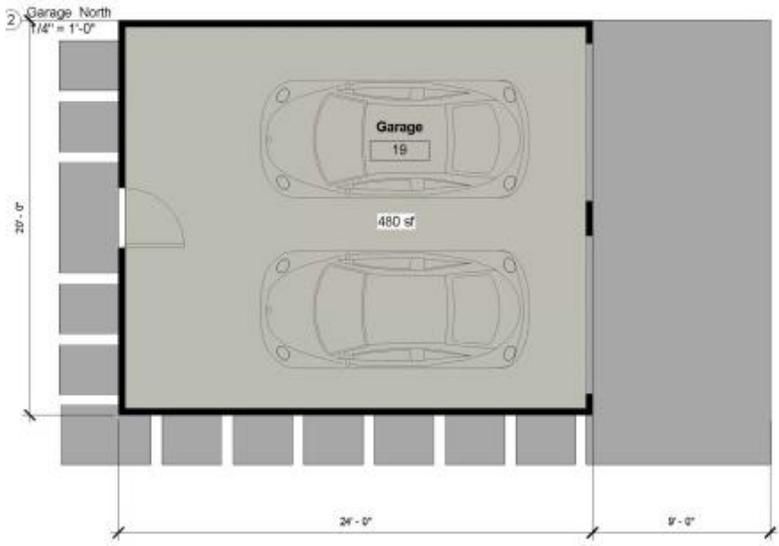
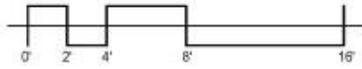
**NORTH SIDE ELEVATION – WITH NEW ADDITION**







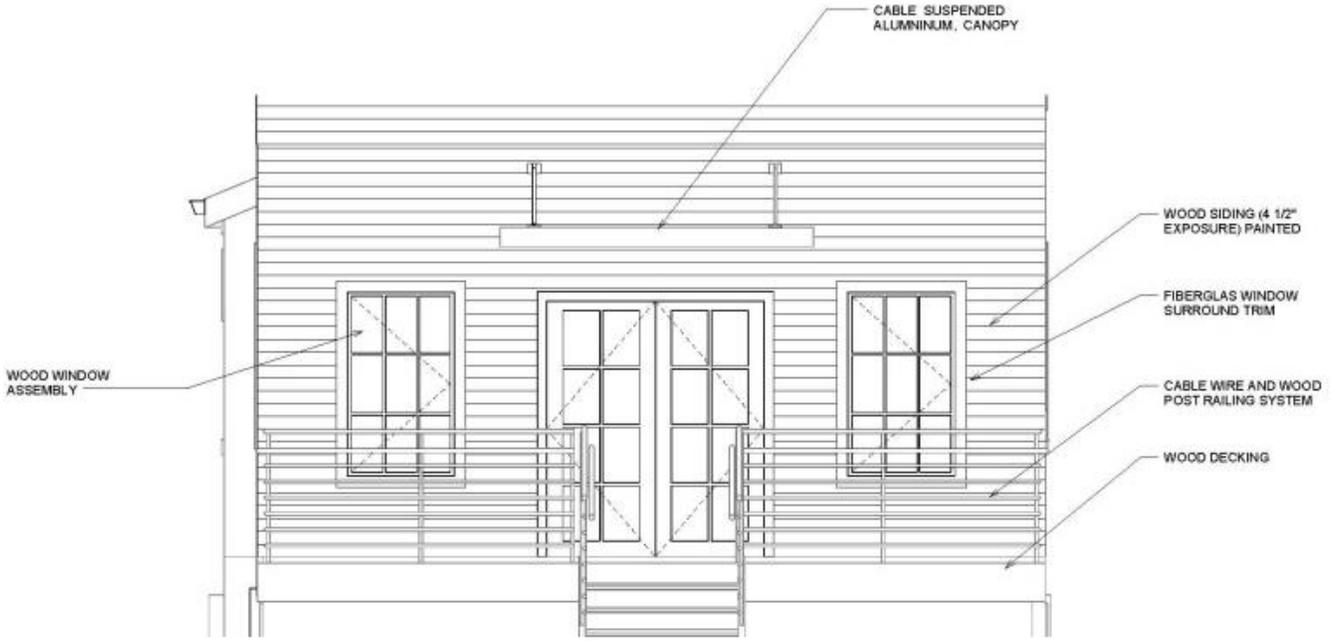
**GARAGE**



**FRONT AND REAR PORCHES**  
*(Front porch railing to be modified)*



① ENLARGED WEST ELEVATION  
 1/2" = 1'-0"



② ENLARGED EAST ELEVATION  
 1/2" = 1'-0"

<b>COA # 2015-COA-298 (HMP)</b>	<b>INDIANAPOLIS HISTORIC PRESERVATION COMMISSION STAFF REPORT</b>	Hearing Date <b>AUGUST 19, 2015</b>
<b>1617 N. ALABAMA STREET HERRON-MORTON PLACE</b>		<i>Continued from: August 5, 2015</i>
<b>Applicant</b> <b>JONATHAN YOUNG,</b> mailing address: <b>BROWNING DAY MULLINS DIERDORF</b> 626 N. Illinois Street Indianapolis, IN 46202		Center Twp. Council District 9 Joseph Simpson
<b>Owner:</b> <b>THE REDEVELOPMENT GROUP</b> 1017 E. Michigan Street Indianapolis, IN 46202		
<b>EXPEDITED CASE</b>		
<b>IHPC COA: 2015-COA-298 (HMP)</b> Construct two-family house and detached 4-car garage.		
<b>STAFF RECOMMENDATION: Approval</b>		

<b>STAFF COMMENTS</b>
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**Background of the Property**

The 1887 Sanborn maps show a 1-story house on this lot. Aerial photos demonstrate that it was demolished between 1962 and 1972. The lot is currently a vacant.

**Design & Materials of the House**

The duplex is a contemporary gable front design, executed by Browning Day Mullins Dierdorf Architects. The building is comprised of a front unit and a back unit, broken in the middle by a connector that has a second story outdoor patio space. On the front façade, the second story gable projects out over the front porch. This porch area is created by the recessed box of the sidewalls and second story. The first floor is made up of a full-width, full length window system. The second story has two windows, the south window projects out from the façade. The building is predominantly smooth-finish fiber cement lap siding. There are some trim board and panel accents on side façades.

The rear (east) elevation also has a recessed porch and a first story filled with windows. The second story is a balcony, with patio doors providing entry. The railing is the same lap and band board detailing as the finishes on the rest of the houses. On the south side of the front unit and north side of the rear unit there are projecting stairwell bays. Rectangular accents are created by bands of windows, use of panels, and long individual windows.

**Design & Materials of the Garage**

The garage is a straightforward side gable design with lap siding. There are two overhead garage doors on the alley, and two pedestrian doors on the west façade facing the rear yard. It has space for four cars, which meets the zoning requirement for a duplex.

**Set Backs**

The house is set back 20 ft. from the front property line. The house under construction to the north has a 22 ft. setback to the front porch, and 26 ft. to the main body of the building. The setbacks are staggered on this block, with a range of porch and other projections. There is no context to the south. The proposed setback is in a consistent range of neighboring houses. The stairwell bays on the front and back units are 5 ft. 4 in.

from the north and south property lines. The garage is at the rear of the lot, with a 5 ft. setback from the alley.

**Context**

There is a wide variety of housing types in close vicinity. Directly to the south is a parking lot. To the north is a nearly completed house that was approved by the IHPC in the spring of 2015, and another new house north of that approved in 2014. Across the street are two newer homes, as well as a one-story bungalow and two story gable-front historic homes. The proposed design does not replicate any one historic style, and there is no dominant style to the adjacent properties.

**Herron-Morton Place Area Plan**

The New Construction Guidelines provide direction for reviewing this project:

**Basic Principle:** *“New construction should reflect the design trends and concepts of the period in which it is created. New structures should be in harmony with the old and at the same time be distinguishable from the old so the evolution of Herron-Morton Place can be interpreted properly.”*

**Style and Design:** *“Creativity and original design are encouraged. A wide range is theoretically possible, from modern to revivals, from simple to decorated.”*

*“Surrounding buildings should be studied for their characteristic design elements. The relationship of those elements to the character of the area should then be assessed. Significant elements define compatibility. Look for characteristic ways in which buildings are roofed, entered, divided into stories and set on foundations. Look for character defining elements such as chimneys, dormers, gables, overhanging eaves, and porches”*

*“Avoid the adoption of, or borrowing from styles, motifs or details of a period earlier than that of the historic district or which are more typical of other areas or cities.”*

**Fenestration:** *“Creative expression with fenestration is not precluded, provided the result does not conflict with or draw attention from surrounding historic buildings.”*

**Materials:** *“The dimensions, textures and patterns of building materials should not conflict with those found on historic buildings in the area. This can often be accomplished with some flexibility since building materials, if used within basic guidelines, have less impact on visual compatibility than larger scale visual elements.”*

Staff believes that the massing and design of the building respects the historic and new construction buildings that surround it, and is consistent with the design guidelines in the Plan.

**STAFF RECOMMENDED MOTION**

**2015-COA-298 (HMP):**

**To approve a Certificate of Appropriateness to construct a two-family residence and detached 4-car garage per the submitted documentation and subject to the following stipulations:**

**DCE: Stipulations number 1, 2, and 3 must be fulfilled prior to issuance of permits.**

- 1. Construction must not commence prior to approval by the IHPC staff of final construction drawings.**  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*
- 2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction.** *Approved \_\_\_\_\_ Date \_\_\_\_\_*
- 3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction.**  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*

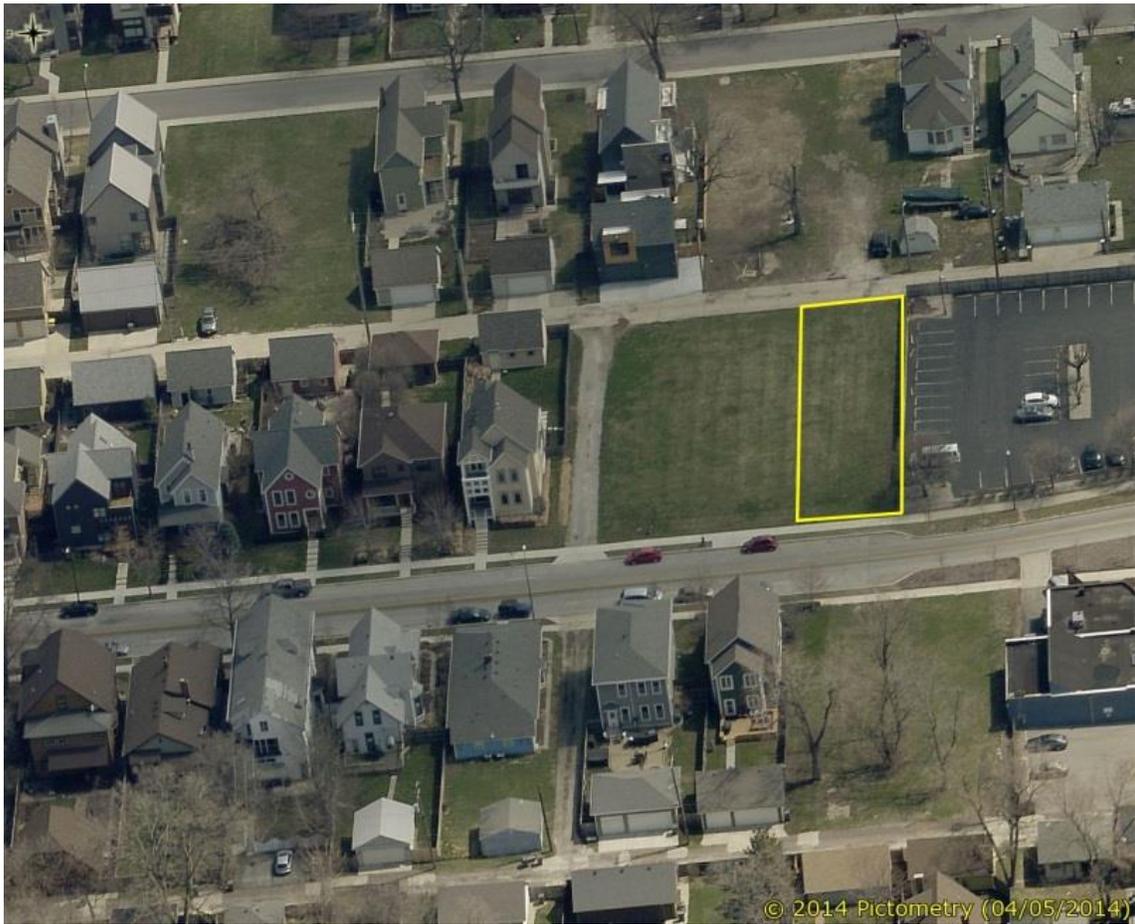
4. Boxed soffits (“bird boxes”) are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.
5. Trim and siding shall be wood or fiber-cement, and shall have a smooth texture and be free of major imperfections. Rough-sawn finishes are not permitted. Siding reveal must match approved drawings.
6. A durable marker indicating the date of construction must be incorporated into the front foundation of the house (not the porch).
7. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
8. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
9. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

**NOTE:** Owner responsible to comply with all applicable codes.

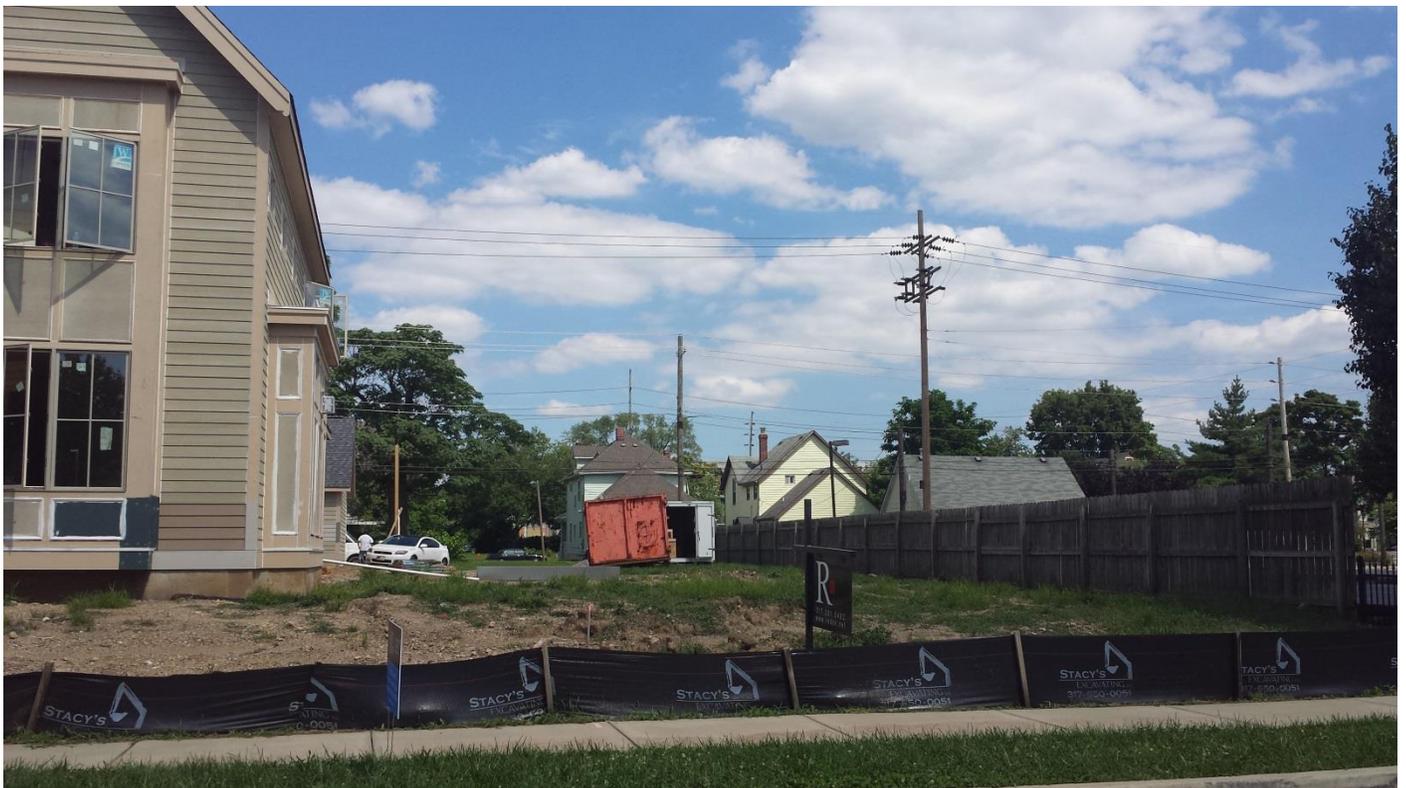
**Staff Reviewer:** Emily Jarzen



**Location in Herron-Morton Place (new houses to the north not depicted on GIS maps)**



**Aerial view of site**



**Subject site**

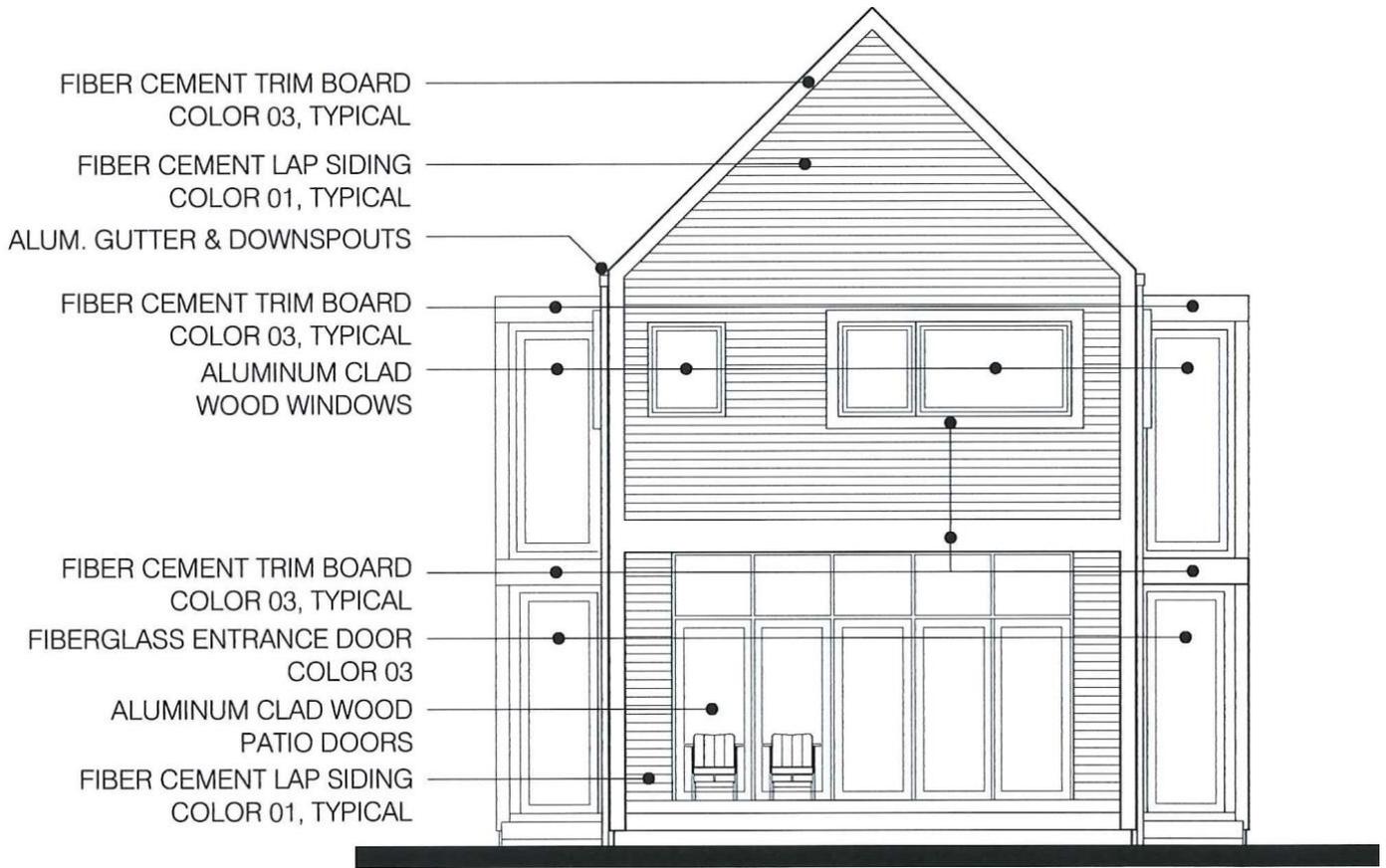


**Houses to the north of subject site**



**Context across the street**

**NOTE: Commission members will receive full set of plans**



FIBER CEMENT TRIM BOARD  
COLOR 03, TYPICAL

FIBER CEMENT LAP SIDING  
COLOR 01, TYPICAL

ALUM. GUTTER & DOWNSPOUTS

FIBER CEMENT TRIM BOARD  
COLOR 03, TYPICAL

ALUMINUM CLAD  
WOOD WINDOWS

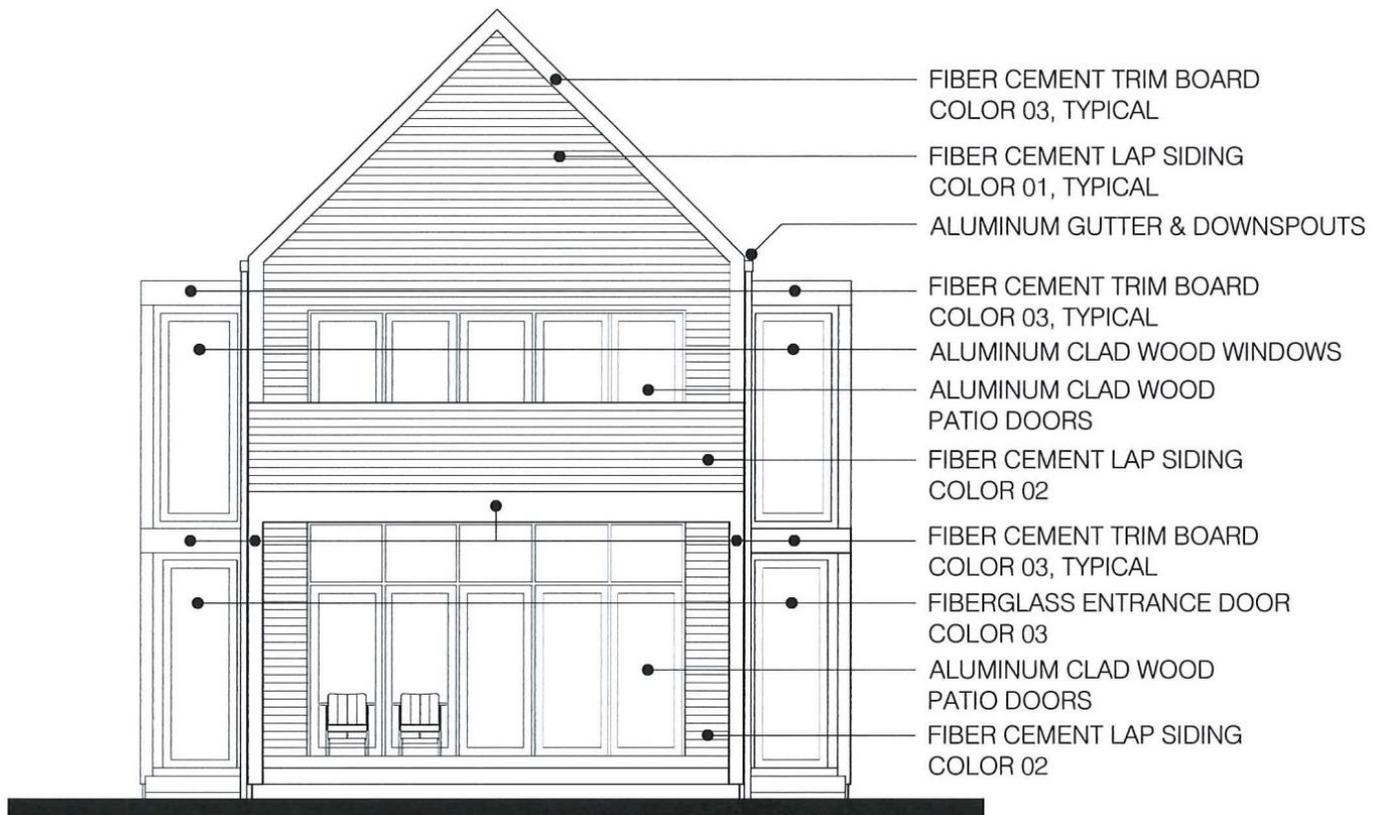
FIBER CEMENT TRIM BOARD  
COLOR 03, TYPICAL

FIBERGLASS ENTRANCE DOOR  
COLOR 03

ALUMINUM CLAD WOOD  
PATIO DOORS

FIBER CEMENT LAP SIDING  
COLOR 01, TYPICAL

**Front (west) elevation**



FIBER CEMENT TRIM BOARD  
COLOR 03, TYPICAL

FIBER CEMENT LAP SIDING  
COLOR 01, TYPICAL

ALUMINUM GUTTER & DOWNSPOUTS

FIBER CEMENT TRIM BOARD  
COLOR 03, TYPICAL

ALUMINUM CLAD WOOD WINDOWS

ALUMINUM CLAD WOOD  
PATIO DOORS

FIBER CEMENT LAP SIDING  
COLOR 02

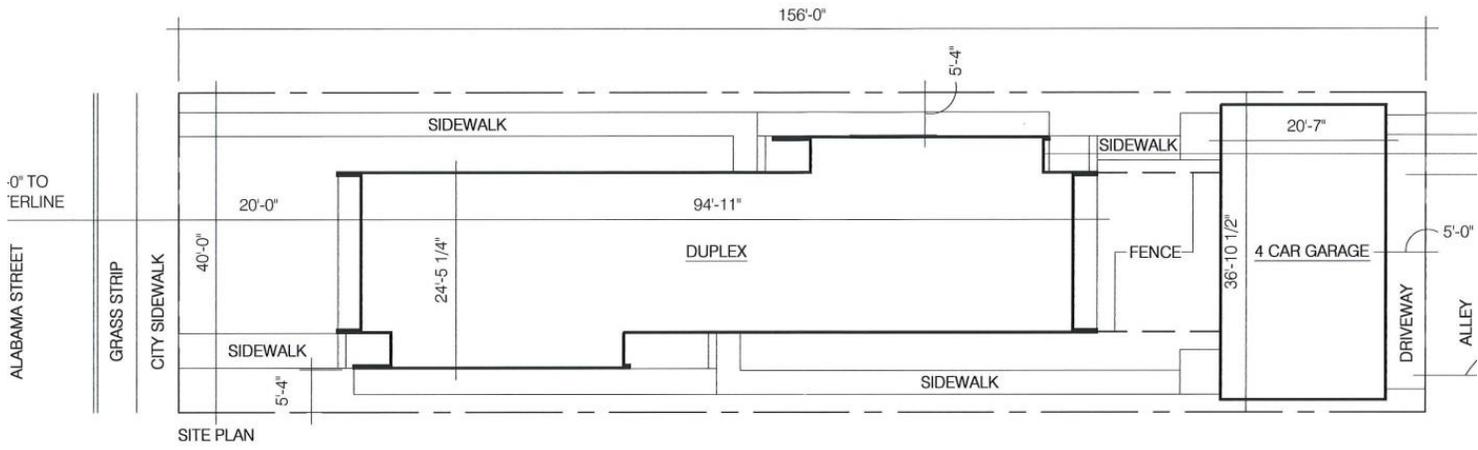
FIBER CEMENT TRIM BOARD  
COLOR 03, TYPICAL

FIBERGLASS ENTRANCE DOOR  
COLOR 03

ALUMINUM CLAD WOOD  
PATIO DOORS

FIBER CEMENT LAP SIDING  
COLOR 02

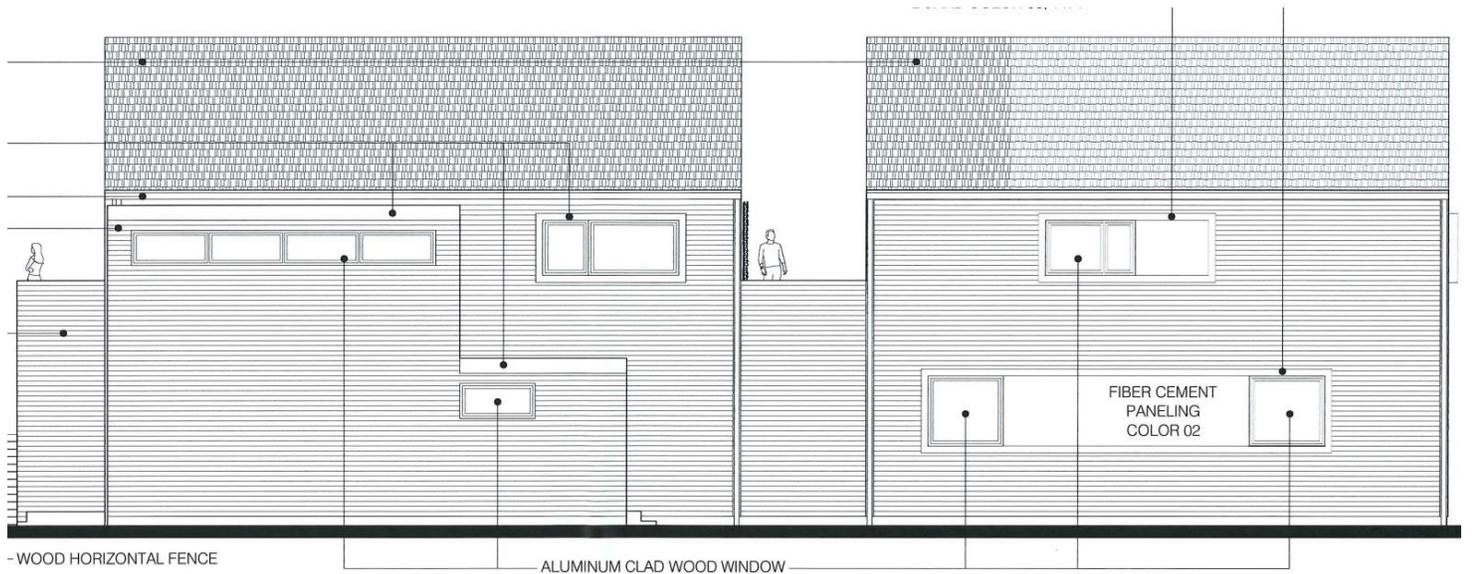
**Rear (east) elevation**



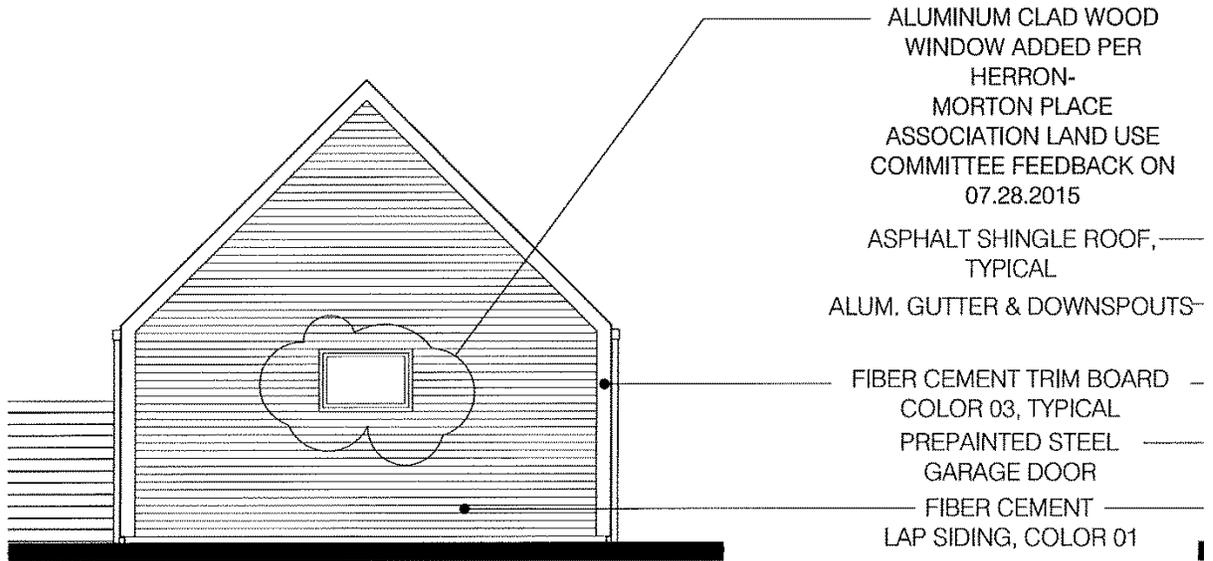
**Proposed site plan**



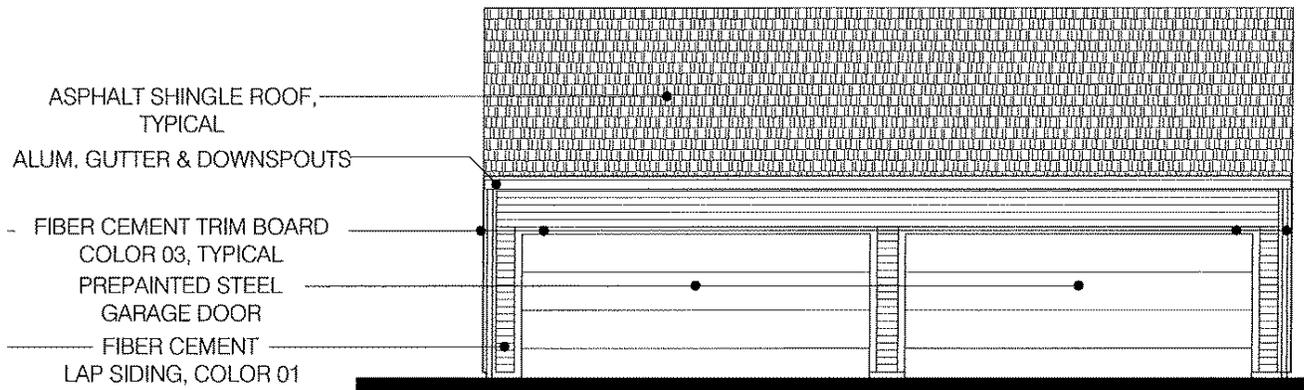
**South elevation**



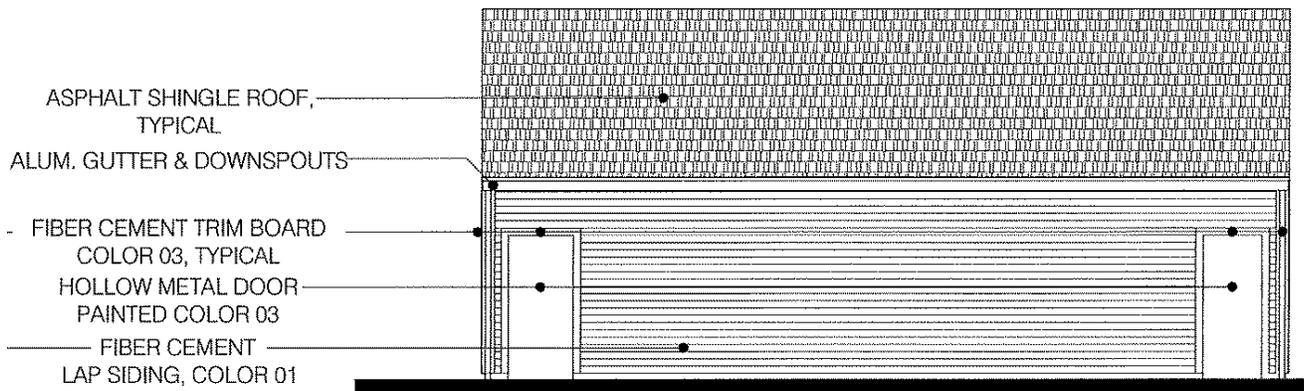
**North elevation  
Garage Plans**



**North & South elevations**



EAST GARAGE ELEVATION



WEST GARAGE ELEVATION

<b>2015-COA-302 (HMP) 2015-ZON-056</b>	<b>INDIANAPOLIS HISTORIC PRESERVATION COMMISSION STAFF REPORT</b>	Hearing Date <b>AUGUST 19, 2015</b>
<b>1615 N. NEW JERSEY HERRON-MORTON PLACE</b>		<i>Continued from:</i>  August 5, 2015   Center Twp. Council District 9 Joseph Simpson
<b>Applicant RANDY MCGLOTHLIN</b> mailing address: 410 E. 16 <sup>th</sup> Street, Apt. 3 Indianapolis, IN 46202		
<b>Owner: SAME AS ABOVE</b>		
<b>EXPEDITED CASE</b>		
<b>IHPC COA:</b>	<b>2015-COA-302 (HMP)</b> Rezone property from C-4 to D-8	
<b>VARIANCES:</b>	<b>2015-ZON-056</b> Rezone property from C-4 to D-8	
<b>STAFF RECOMMENDATION: Approval</b>		

**STAFF COMMENTS**

**Background of the Property**  
The subject site was originally the location of a two-story, single-family house. A Certificate of Authorization was granted to the Marion Co. Health Department in 1995 to demolish the house, which was in an extreme state of deterioration. The lot was subsequently bought by Mr. McGlothlin, who now wishes to sell it for residential development.

**Zoning**  
This parcel is zoned C-4, which is a zoning classification designed to provide for the development of major business groupings and regional-size shopping centers. It does not allow residential use. The applicant is requesting to rezone to D-8, as recommended in the HMP Plan.

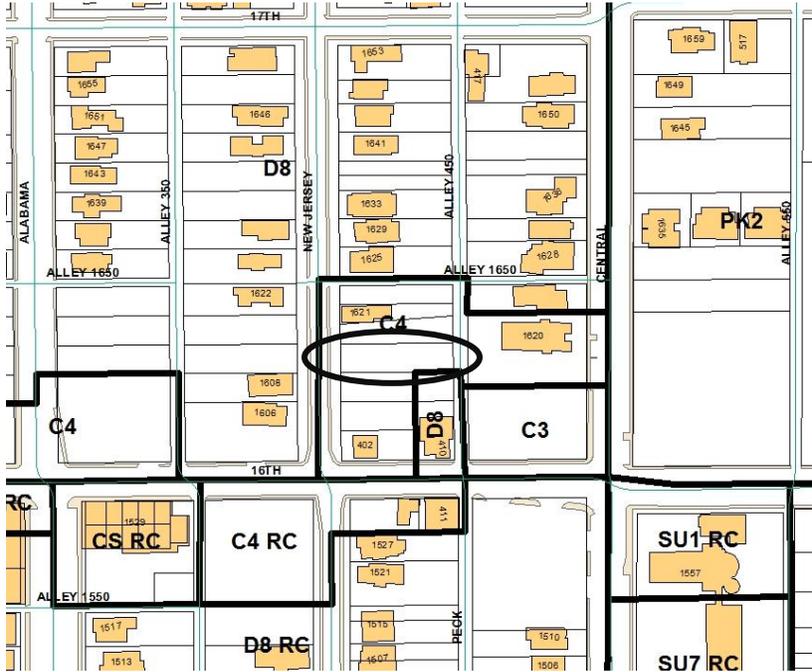
**Herron Morton Place Historic Area Plan**  
The recommended zoning for this location is D-8.

**STAFF RECOMMENDED MOTION**

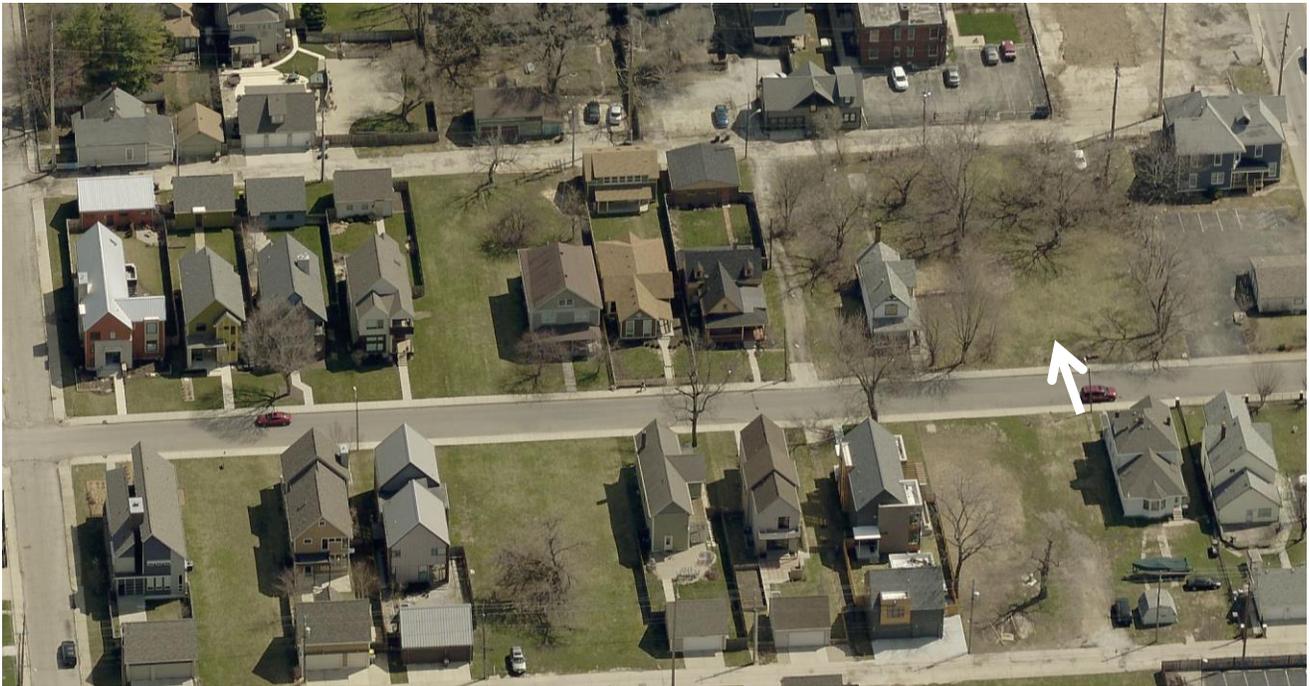
**2015-COA-302 (HMP):**  
**To approve a Certificate of Appropriateness to rezone the subject property from C-4 to D-8.**

**2015-ZON-056: To recommend approval to the Metropolitan Development Commission to rezone the subject property from C-4 to D-8.**

**Staff Reviewer: Emily Jarzen**



Location in Herron-Morton Place



Aerial view of subject property

OLD NORTHSIDE, INC.  
1240 N. NEW JERSEY STREET  
INDIANAPOLIS, IN 46202  
317.513.1101

July 24, 2015

William A. Browne Jr., President  
Indianapolis Historic Preservation Commission  
200 East Washington Street, Suite 1801  
Indianapolis, IN 46204

RECEIVED  
JUL 24 2015  
INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

RE: 2015-COA-302, 1615 N. New Jersey Street, Randy McGlothlin

Dear President Browne,

Please allow this letter to serve as the Old Northside, Inc.'s support for the above referenced proposal to rezone the property from C-4 to D-8.

If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,



Chanda R. Johnson, President

**Support Letter**

<b>COA # 2015-COA-303 (SJ) 2015-VHP-030</b>	<b>INDIANAPOLIS HISTORIC PRESERVATION COMMISSION STAFF REPORT</b>	<b>Hearing Date AUG. 19, 2015</b>
<b>231 E 11<sup>th</sup> STREET ST. JOSEPH</b>		<i>Continued from: August 5, 2015</i>
<b>Applicant &amp; mailing address:</b>	<b>JOSEPH LESE</b> 600 N. Alabama Street, #1205 Indianapolis, IN 46204	Center Twp. Council District 9 Joseph Simpson
<b>Owner:</b>	Thomas Maynard 229-31 E 11 <sup>th</sup> St Indianapolis, IN 46204	
<b>EXPEDITED CASE</b>		
<b>IHPC COA:</b>	<b>2015-COA-303 (SJ)</b>	<ul style="list-style-type: none"> <li>• Construct 3-car/2-story garage</li> <li>• Repair siding, open 2<sup>nd</sup> story deck enclosure and install railing</li> <li>• Construct 2-story covered porch/deck on rear façade,</li> <li>• Remove 3 windows on west façade</li> <li>• Shorten two windows on south and west facades</li> <li>• Relocate upper porch door, repair windows and install storm windows</li> <li>• Extend walk to garage</li> <li>• Variance</li> </ul>
<b>VARIANCE:</b>	<b>2015-VHP-030</b>	Variance of Development Standards of the D-8 Zoning Ordinance to reduce open space requirement.
<b>STAFF RECOMMENDATION: Approval</b>		

<b>STAFF COMMENTS</b>
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**Description of Site**

The site is the location of a 2-story wood-framed house constructed c. 1898. The house no longer has an accessory structure at the rear of the site.

**Construct 2-story, 3-car garage**

The applicant is asking to construct a 2-story detached garage with storage on the upper level. This space will be framed in, but not built out. The siding and windows will be wood to match the house. The setback off the alley will be 10 feet and will be centered on the site.

**Construct 2-story covered porch/deck on rear façade**

The rear elevation currently contains an open porch on the first floor. The applicant would like to restore this porch and would also like to add a 2-story covered porch next to it. All materials will be wood to match the house.

**Restoration of House**

**Repair siding, open 2<sup>nd</sup> story deck enclosure and install railing**

The house currently has vinyl siding, which will be removed and the wood siding restored. The second floor porch on the front of the house was previously enclosed. It will be opened up. A new wood railing with square spindles will be added.

Remove 3 windows on west façade

The west side of the house is very close to the house next door. The applicant plans to remove and close up with siding three windows on this side to accommodate the proposed kitchen. They are not clearly visible from the street.

Shorten two windows on south and west facades

Two windows are planned to be shortened to make way for the new kitchen area. The west and south elevations are not clearly visible, so these changes should have virtually no impact on the house or surrounding area.

Relocate upper porch door, repair windows and install storm windows

All windows and doors on the house will be restored wherever possible. One door on the 2<sup>nd</sup> floor porch at the front of the house is located in a room that already has several openings. The applicant would like to relocate the door just a few feet from its current location so that it is in a different room but still accessible to the porch. Staff believes this change will hardly be visible from the street.

Extend walk to garage

An extension of the concrete walkway is proposed in order to access the new garage. Staff sees no issues with this request. The material and width will remain the same.

**Variance of Development Standards**

The proposed garage will cause the site to no longer meet the 55% open space requirement in the D-8 Zoning Ordinance. The site has 69.9% open space, and will have 54.6% once the garage is built. This is just a half a percent shy of what is required. This will have any negative impact on the site or historic area.

**STAFF RECOMMENDED MOTION**

**COA #2015-COA-303(SJ):**

**To approve a Certificate of Appropriateness to**

- 1. Construct 3-car/2-story garage**
- 2. Repair siding, open 2<sup>nd</sup> story deck enclosure and install railing**
- 3. Construct 2-story covered porch/deck on rear façade,**
- 4. Remove 3 windows on west façade**
- 5. Shorten two windows on south and west facades**
- 6. Relocate upper porch door, repair windows and install storm windows**
- 7. Extend walk to garage**
- 8. Variance of Development Standards**

**as per submitted documentation and subject to the following stipulations:**

**DCE: PERMITS MAY NOT BE ISSUED until stipulations number 1, 2 and 3 are fulfilled.**

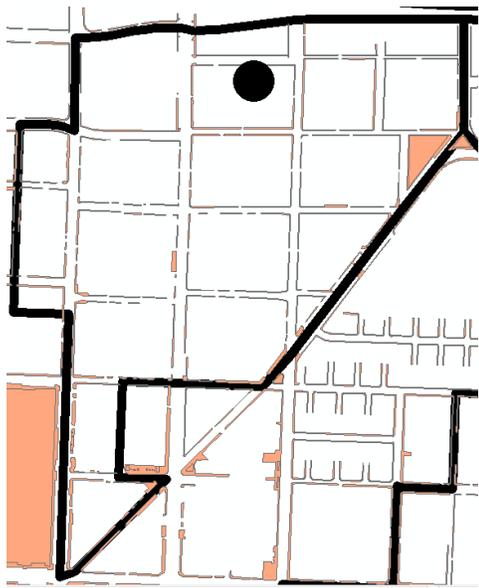
- 1. Construction must not commence prior to approval by the IHPC staff of final construction drawings. *Approved \_\_\_\_\_ Date \_\_\_\_\_***
- 2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved \_\_\_\_\_ Date \_\_\_\_\_***
- 3. The garage shall be field-staked (no offsets) and shall be reviewed and approved by IHPC staff prior to the issuance of permits. *Approved \_\_\_\_\_ Date \_\_\_\_\_***

4. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, utility and mechanical equipment placement, etc.
5. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.
6. All replacement materials shall match the original materials for which they replace. All new materials shall have the same color, surface texture, and method of construction.
7. All original materials on the historic building shall be restored and retained where possible.
8. All new, repaired, and/or rebuilt elements shall replicate the documented historic appearance of the windows per IHPC photographs.
9. Any deviation from this approach shall be approved by IHPC staff prior to construction.
10. Any knots or surface imperfections shall be filled to achieve a smooth appearance, sanded and primed. Rough-sawn finishes are not permitted.
11. Paint colors are to be as noted on the submitted plans. Permanent Coating Systems are not considered appropriate for painting and this certificate does not approve the use of such materials.

**NOTE:** This COA does not approve a separate dwelling unit in the garage. A dwelling unit may not be established in the garage unless a variance of use is granted in accordance with the zoning ordinance.

**2015-VHP-030: To approve a Variance of Development Standards of the D-8 Zoning Ordinance to reduce open space requirement.**

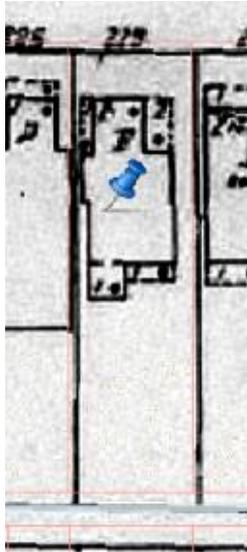
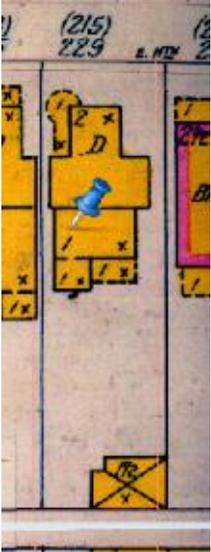
**Staff Reviewer:** Meg Purnsley



*Location in St. Joseph*



*Zoning Map*



**1898 Sanborn Map    1956 Sanborn Map**

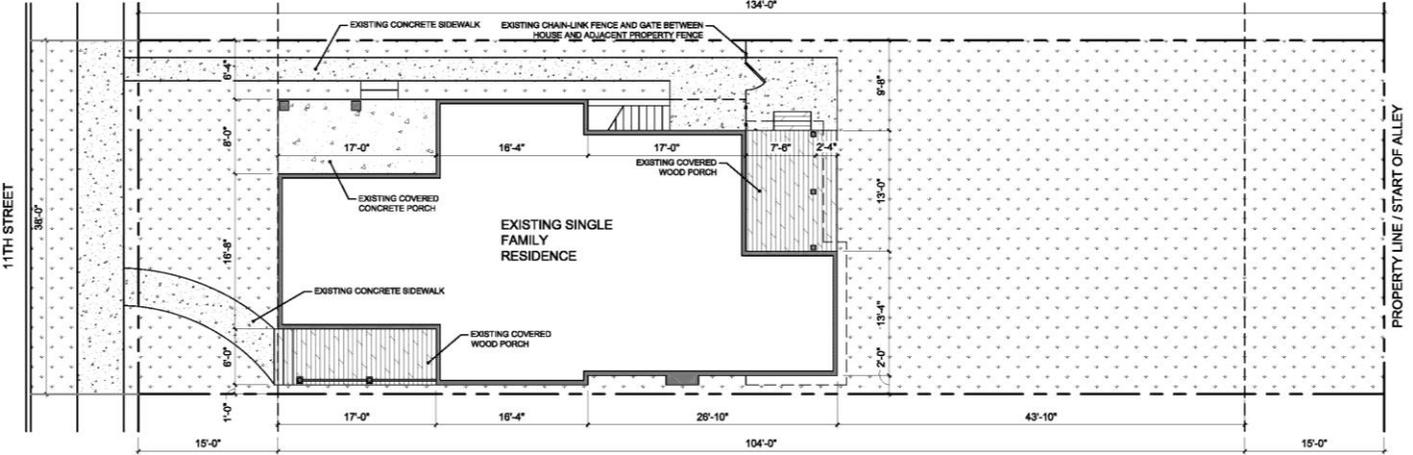
**View of Rear Façade**



**View of front façade from 11<sup>th</sup> St.**

EXISTING SITE AREA	
OBJECT	AREA
EXISTING PARCEL	5,092 SF
EXISTING HOUSE FOOTPRINT	1,367 SF
EXISTING COVERED OPEN SPACE	336 SF
EXISTING TOTAL *OPEN SPACE %	69.9%
EXISTING IMPERVIOUS AREA	352 SF

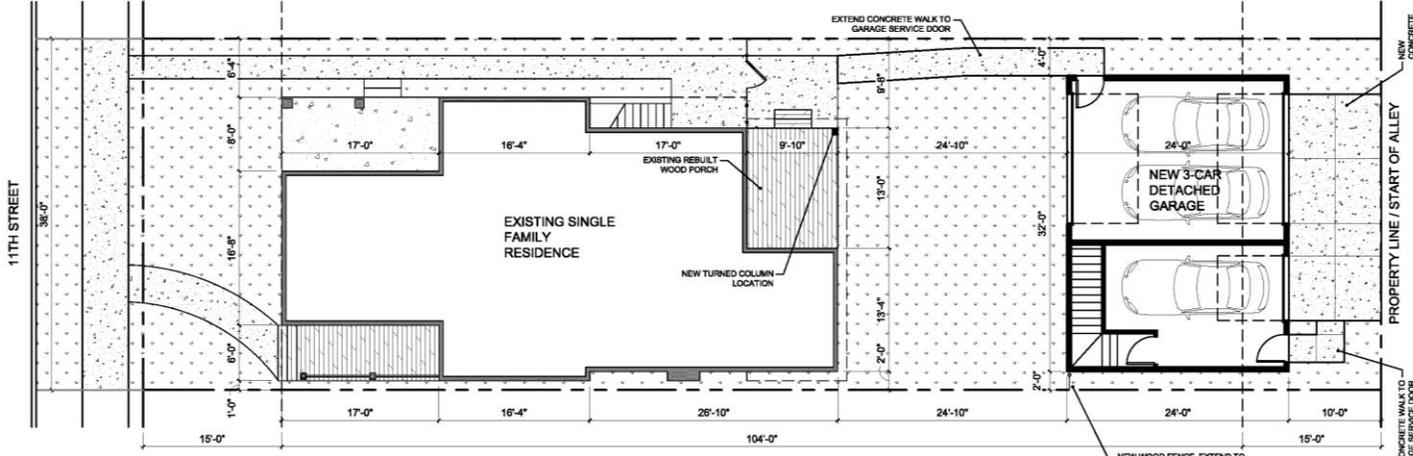
Note: Open Space calculation: (building footprint (100%) + covered porches (50%)) / parcel area  
 $(1,367 \times (336 \times 0.5)) / 5,092 = 30.1\% \text{ coverage (69.9\% open space)}$



**Existing Site Plan**

PROPOSED SITE AREA	
OBJECT	AREA
EXISTING PARCEL	5,092 SF
EXISTING HOUSE FOOTPRINT	1,367 SF
EXISTING EXPANDED COVERED OPEN SPACE	356 SF
DETACHED GARAGE FOOTPRINT	768 SF
NEW TOTAL *OPEN SPACE %	54.6%
2nd FLOOR COVERED PORCH	289 SF
EXISTING / NEW IMPERVIOUS AREA	352 / 354 SF

Note: Open Space calculation: (building footprint (100%) + covered porches (50%)) / parcel area  
 $(2,135 \times (356 \times 0.5)) / 5,092 = 45.4\% \text{ coverage (54.6\% open space)}$



**Proposed Site Plan**

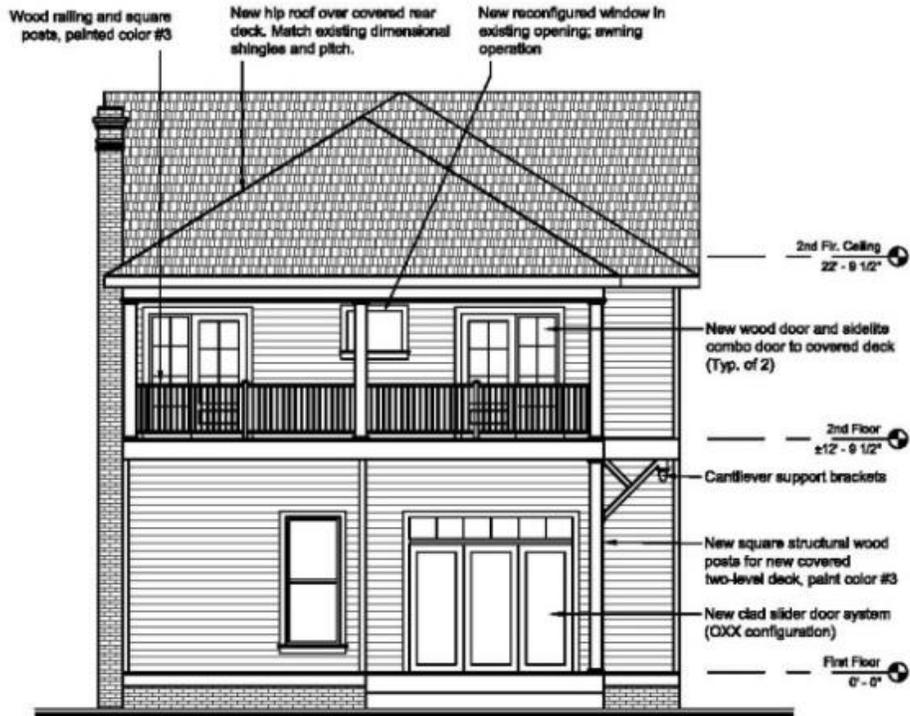




1 **Proposed New North Elevation**  
A2.1 Scale: 1/8" = 1'-0"



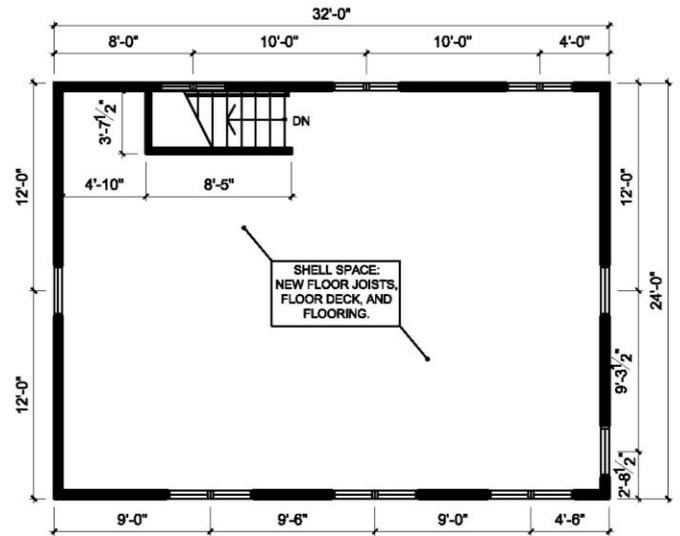
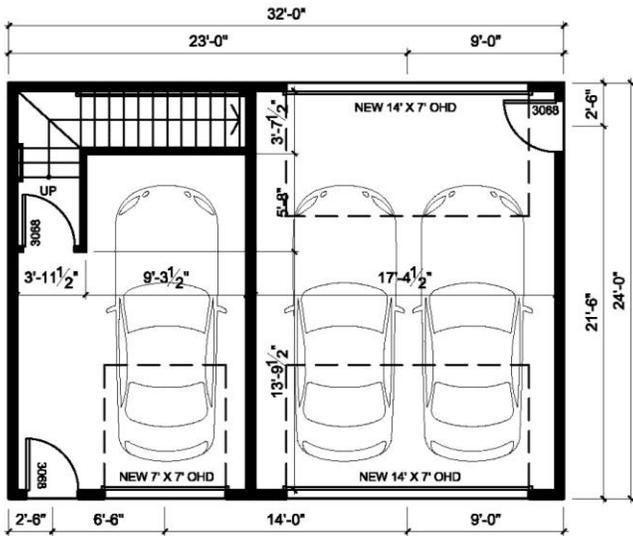
2 **Proposed New East Elevation**  
A2.1 Scale: 1/8" = 1'-0"



1 Proposed New South Elevation  
A2.2 Scale: 1/8" = 1'-0"

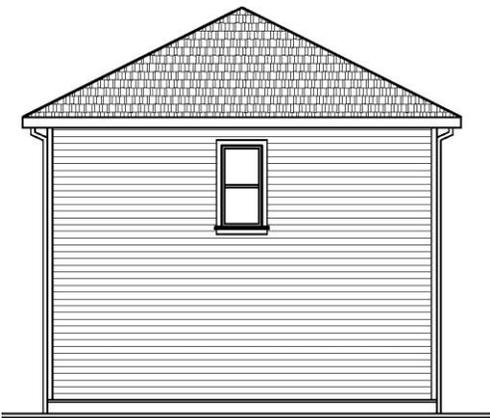


2 Proposed New West Elevation  
A2.2 Scale: 1/8" = 1'-0"



1  
A1.3 **New First Floor Garage Plan**  
Scale: 1/8" = 1'-0"

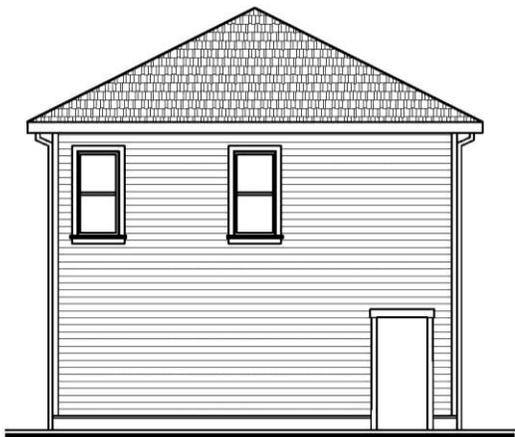
N  
2  
A1.3 **New Second Floor Garage Plan**  
Scale: 1/8" = 1'-0"



**West Elevation**



**South Elevation**



**East Elevation**



**North Elevation**

Color Note:  
 Colors selected are for design basis  
 and may vary slightly in field. Create  
 field mock-up for IHPC and owner  
 approval prior to construction.



Trim, Railings, Casings, Boards  
 SW0050 Classic Light Buff  
 Color #3



Detail Trim, Window Frames  
 SW7594 Carriage Door  
 Color #2



Lap and Scallop Siding  
 SW6201 Thunderous  
 Color #1



**Front of House**



**Garage**

**METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA**

**PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS**

**FINDINGS OF FACT**

1. The grant will not be injurious to the public health, safety, morals, and general welfare of the community because:

the design of this project adheres to the Indiana Residential Code, including mechanical and electrical systems, and smoke detection systems.  
The public health and safety will not be injured because the project improves a previous derelict parcel. Visually the project will not  
be injurious because non-historic siding will be removed, and repairing or replacing siding with same wood materials and profiles.  
The 3-car detached garage is proportionally complementary to the residence and surrounding parcels, which also have similar two-level  
and multi-parking space garages be it a carriage house or additional storage.

2. The use or value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

while setbacks are encroached as relating to the zoning ordinance, the placement of the detached garage follows similar setbacks of existing  
detached garages at adjacent properties. In addition, restoring the historic character of the existing house will dramatically improve the appearance  
hich in turn positively affects the surrounding properties in value. The design of the garage and house pay careful attention to scale so as not  
to overwhelm surrounding properties, and adds features to the property which are common at other neighborhood locations, such as covered  
decks and large covered porches. The two-story three-car garage also is a feature which occurs occasionally throughout the neighborhood.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property because:

the more narrow width of the parcel causes a 3-car garage to be impractical without encroaching on side yard setbacks, and the rear yard  
setback encroachment ends up being a positive due to it's alignment with existing adjacent detached garages. While the addition of the detached  
garage places the parcel over the Open Space requirement threshold, it is a minimal amount that the open space is exceeded by.

COA # 2015-COA-177 (FP) 2015-AHP-001	INDIANAPOLIS HISTORIC PRESERVATION COMMISSION STAFF REPORT	Hearing Date AUGUST 19, 2015
702 VIRGINIA AVENUE FLETCHER PLACE		<i>Continued from: June 3, 2015 July 1, 2015 August 5, 2015</i>
Applicant: mailing address:	HOTEL TANGO WHISKEY, LLC. 1233 Broadway Street Indianapolis, IN 46202	Center Twp. Council District 19 Jeff Miller
Owner and mailing address:	JERSEY STREET PROPERTIES, LLC. 715 S. East Street Indianapolis, IN 46225	
MDC HEARING EXAMINER CASE		
IHPC COA:	2015-COA-177 (FP)	<i>A new COA number is used here for record-keeping purposes only. A new COA is not required in order to approve a modification of commitments.</i>
Approval Request:	2015-AHP-001	Modification of the Statement of Commitments in 2014-VHP-003: 1. Remove the commitment to not allow live entertainment. 2. Change the commitment limiting operating hours by extending the permitted closing time from 10:00 p.m. to 12:00 a.m. (the opening time of 8:00 a.m. is not changed)
STAFF RECOMMENDATION: <b>No Recommendation</b>		

<b>STAFF COMMENTS</b>
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**Update since June 3<sup>rd</sup> IHPC hearing**

The original case (2014-COA-026; 2014-VHP-003), approving the variance of use for a distillery, was approved at the March 5, 2014 IHPC hearing. The link to videos of previous Commission hearings is: [http://indianapolis.granicus.com/ViewPublisher.php?view\\_id=39](http://indianapolis.granicus.com/ViewPublisher.php?view_id=39).

At the June 3, 2015 hearing, the Commission recommended that the applicant work with the neighborhood, resolve any zoning violations, and comply with the recorded commitments. They also encouraged the applicant to look into indoor entertainment, and limited days of staying open late as a possible compromise. Since the hearing, the applicant has been working with the Fletcher Place Neighborhood Association on coming up with mutually agreeable terms. The applicant has indicated that the commitments are likely to change again before the August 19<sup>th</sup> hearing. However, their most recent submission as of the drafting of the staff report is included below.

**Commitment 2 (Hours of Operation):**

**As approved in March 2014 (recorded)** – HTW shall maintain its hours of all business operations, which includes the production of alcoholic spirits along with the retail sale thereof, between 8:00AM to 10:00 PM. No business operations on the Real Estate shall occur outside these designated hours.

**As proposed June 2015:** HTW shall maintain its hours of all business operations, which includes the production of alcoholic spirits along with the retail sale thereof, between 8:00AM to 12:00 AM. No business operations on the Real Estate shall occur outside these designated hours unless previously approved by the Fletcher Place Neighborhood Association (“FPNA”).

**As proposed August 2015:** HTW shall maintain its hours of all business operations, which includes the production of alcoholic spirits along with the retail sale thereof, between 8:00AM to 10:00 PM Sunday-Wednesday, and 8:00 AM to 12:00 AM on Thursdays, Fridays, and Saturdays. Operations may remain open until 12:00 AM during special events and private parties on Sundays-Wednesdays with prior written notification to the Fletcher Place Neighborhood Association.

**Commitment 4 (Noise Limitation):**

**As approved in March 2014 (recorded)** – HTW shall comply with any federal, state or local law, rule or regulation pertaining to noise, including but not limited to Chapter 391 Article III of the Revised Code of the City of Indianapolis – Marion County, otherwise known as the Noise Ordinance. This Noise Ordinance will apply to all aspects of HTW’s business operations. HTW shall not have speakers on the outside of the building. HTW shall not have live entertainment.

**As proposed June 2015:** HTW shall comply with any federal, state or local law, rule or regulation pertaining to noise, including but not limited to Chapter 391 Article III of the Revised Code of the City of Indianapolis – Marion County, otherwise known as the Noise Ordinance. HTW shall not have speakers on the outside of the building.

**As proposed August 2015:** Live entertainment shall be permitted on the inside of the building on the condition that the live entertainment will end at 10:00 PM, and shall not at any time violate any local, state, or federal noise ordinance. Outside live entertainment shall be allowed during state and federal holidays. Outside live entertainment shall be allowed at all citywide events.

Findings of Fact have been submitted by the applicant. Staff believes that the Findings could be improved. However, if the Commission approves the changes, simple Findings could be submitted for signature in September or October that would be more compelling.

**The remainder of the staff report remains the same as June 2015 (Updates added at bottom – FPNA letter & Findings of Fact).**

**No COA required**

I.C. 36-7-11.1 does not require a COA to be granted before requesting a Modification of the Statement of Commitments. The IHPC is only hearing this case as the Metropolitan Development Commission (MDC) Hearing Examiner. The IHPC’s recommendation will then go to the MDC for its decision.

**Zoning Background**

The property was granted a variance of use by the IHPC in March of 2014 for the operation of an artisan distillery. Hotel Tango Whiskey opened for business in September 2014 and produces and sells whiskey, vodka, gin and moonshine. The business provides tours of the production facility, which operates in one half of the building. The other half of the building holds the tasting room and sales area. There is very limited food available, the minimum required by state law. Their primary purpose is to produce and sell small batch spirits to the general public and restaurants. Their classification as an “artisan distillery” limits their production level to 10,000 gallons per year.

**Modification of Commitments**

Prior to being granted the variance in 2014, the owner negotiated commitments with the Fletcher Place Neighborhood Association (FPNA). These commitments were recorded with the Marion County Recorder’s Office on May 14, 2014 and are attached to this report.

After being in business for a while, the owner now wishes to make the following modifications:

**1. Hours of Operation:**

The business committed to having no business operations (production or retail) on the Real Estate outside the hours of 8:00AM to 10:00PM. It is now requesting that the closing time be extended to 12:00 a.m.

The zoning ordinance does not restrict hours of operation, but the FPNA has been requesting a commitment from all new businesses to limit hours of operation to no later than 10:00 p.m. The FPNA opposes Hotel Tango Whiskey’s proposed extension of hours.

**2. Noise Limitation:**

The business committed to having no live entertainment. It would now like to remove this commitment.

The FPNA is requesting that entertainment be limited to indoor entertainment, to end by 10:00 p.m. and for the garage door to be closed during such entertainment. They would allow outdoor entertainment on a case-by-case basis, with written approval by the Fletcher Place Neighborhood Association.

**Fletcher Place Preservation Plan**

The Fletcher Place Historic Area Plan does not speak directly to a request for a modification of commitments. However, the site is recommended for C-3C (Corridor Commercial District) or residential (the Plan is unclear).

**Parties that can enforce commitments**

If agreed to, these changes would need to be recorded with the Marion County Recorder’s office. In this instance, it might also be useful to add the neighborhood association as a party that enforces the commitments. While they already have the right to do so, on occasion neighborhood groups are explicitly listed as a party that can enforce covenants. When the Commission is acting as the BZA, they can by rule designate who can enforce a commitment:

Ind. Code Ann. § 36-7-4-1015 (West)

*(c) The plan commission or board of zoning appeals may adopt rules:*

- (1) governing the creation, form, recording, effectiveness, modification, and termination of commitments that are made before the plan commission or board of zoning appeals; and*
- (2) designating which specially affected persons and classes of specially affected persons are entitled to enforce commitments.*

**Neighborhood Position**

A letter from the neighborhood association outlining their stance is included in the report below.

**No Recommendation**

The commitments to be modified were not requested by staff and their inclusion in the previous petition were not integral to staff’s recommendation. Rather, they were an agreement between the applicant and the neighborhood association. Since the IHPC is acting as the MDC Hearing Examiner in this matter, staff consulted with Current Planning regarding how they make recommendations in such a situation. In similar situations, Current Planning generally makes no recommendation, leaving it to the HE to base its decision on the testimony. However, it is presumed that the commitments were negotiated in good faith by the petitioner and neighbors, and their agreement was contingent upon all commitments included in the previous petition.

**Staff Reviewer:** Emily Jarzen



Location in Fletcher Place



Above: View of site (aerial photography)



Subject property

### Commitments Recorded in 2014

Requested Modifications highlighted with underlining and cross-outs.

1. VariANCES Not Alienable – The Variance of Use and Variance of Development Standards (the “VariANCES”) shall only be valid as long as the Real Estate is occupied by Hotel Tango Whiskey, LLC (“HTW” or “Petitioner”). Should HTW vacate the Real Estate, the variances shall expire. The Real Estate shall neither be used by others as HTW’s lessees or licensees nor its successors or assigns. The only industrial use on this site shall be for an artisanal distillery.
2. Hours of Operation – HTW shall maintain its hours of all business operations, which includes the production of alcoholic spirits along with the retail sale thereof, between 8:00AM to ~~10:00PM~~, 12:00 A.M. No business operations on the Real Estate shall occur outside these designated hours unless previously approved by the Fletcher Place Neighborhood Association (“FPNA”).
3. Industrial Traffic & Deliveries/Shipping – Industrial traffic (i.e., 18-wheelers or semi-trucks) shall not be used for deliveries to, or to transport from, the Real Estate. Such deliveries of goods or the transport of products shall be accomplished using small-box trucks, commercial vans or consumer automobiles. Neither deliveries to nor the transport of products from the Real Estate shall occur outside the hours of 7:00AM to 9:00PM, Monday through Sunday. Industrial traffic shall not enter or exit the site from Elm Street.
4. Noise Limitation – HTW shall comply with any federal, state or local law, rule or regulation pertaining to noise, including but not limited to Chapter 391 Article III of the Revised Code of the City of Indianapolis – Marion County, otherwise known as the Noise Ordinance. ~~This Noise Ordinance will apply to all aspects of HTW’s business operations.~~ HTW shall not have speakers on the outside of the building. ~~HTW shall not have live entertainment.~~
5. Odor Management – To minimize any odors produced as a consequence of production, HTW shall install a carbon filter to the HVAC system and HTW shall not utilize said HVAC system without the carbon filter, which must be maintained at all times.
6. Overnight Storage – No trucks, trailers, commercial vehicles, or any large equipment of any kind shall be permitted to remain on the Real Estate overnight (i.e., after normal hours of operation as defined above).
7. Lighting – All interior and exterior lighting shall be controlled by timers and/or dimmers after regular business hours to avoid unnecessary light pollution affecting surrounding properties. All exterior lighting shall be limited to wall mounted lighting on the Real Estate on which the building is situated and must be approved by IHPC staff prior to installation.
8. Waste Disposal & Trash Removal - All spent grains (left over grains after fermentation) and any other waste produced as a consequence of distilling which cannot be disposed of through conventional means shall be transported off the Real Estate, in a manner consistent with Paragraph 3 above. The pick-up of spent grains and other similarly-produced waste shall be restricted to the hours of 7:00AM and 9:00PM daily. Trash removal shall likewise be restricted to 7:00AM and 9:00PM pursuant to a contract for trash removal services into which HTW will enter. The dumpster shall be held on the inside of the building or shall be screened on all sides if outside the building.
9. Property Maintenance – The Real Estate, landscaping thereon, and any other appurtenances thereto, shall be maintained in good repair and in a professional manner. Should any of the aforementioned become lost or damaged, it shall be promptly replaced or repaired. HTW shall maintain a low hedge along Virginia Avenue. HTW shall not have outdoor storage.

**STATEMENT OF MODIFICATION OR TERMINATION  
OF COVENANTS OR COMMITMENTS**

**COVENANTS OR COMMITMENTS MODIFYING OR TERMINATING EXISTING COVENANTS OR  
COMMITMENTS CONCERNING THE USE OR DEVELOPMENT OF REAL ESTATE MADE IN  
CONNECTION WITH AN APPROVAL PETITION, REZONING OF PROPERTY, A VARIANCE PETITION  
OR SPECIAL EXCEPTION PETITION**

In accordance with I.C. 36-7-4-918.8 and I.C. 36-7-4-1015, the owner of the real estate located in Marion County, Indiana, which is described below, makes the following modification(s) or termination(s) of covenants or commitments concerning the use and development of that parcel of real estate:

**Legal Description:**

Parcel ID: — 702 Virginia Ave. Parcel # 1074959

Lots 86 and 88 in Fletcher, Stone, Witt, Taylor and Hoyt's Subdivision of Out Lots 86, 87 and 88 and the South Half of Out Lot 81 of the Donation Lands of the City of Indianapolis, as per plat thereof recorded in Plat Book 1, pages 181 to 184, in the Office of the Recorder of Marion County, Indiana.

**Statement of MODIFICATION OR TERMINATION of Covenants or Commitments:**

**Modification of the Statement of Commitments in 2014-VHP-003 as follows:**

1. Hours of Operation – HTW shall maintain its hours of all business operations, which includes the production of alcoholic spirits along with the retail sale thereof, between 8:00 A.M. to 12:00 A.M. No business operations on the Real Estate shall occur outside these designated hours, unless previously approved by the Fletcher Place Neighborhood Association (“FPNA”).
2. Noise Limitation – HTW shall comply with all federal, state or local law, rule or regulation pertaining to noise, including but not limited to Chapter 391 Article III of the Revised Code of the City of Indianapolis – Marion County, otherwise known as the Noise Ordinance.

These COVENANTS or COMMITMENTS shall be binding on the owner, subsequent owners of the real estate and other persons acquiring an interest therein. These COVENANTS or COMMITMENTS may be modified or terminated by a decision of the Metropolitan Development Commission made at a public hearing after proper notice has been given.

COVENANTS or COMMITMENTS contained in this instrument shall be effective upon the adoption of modification or termination approved by the Metropolitan Development Commission in petition

These COMMITMENTS may be enforced jointly or severally by:

1. The Metropolitan Development Commission;
2. Owners of all parcels of ground adjoining the real estate to a depth of two (2) ownerships, but not exceeding six-hundred-sixty (660) feet from the perimeter of the real estate, and all owners of real estate within the area included in the petition who were not petitioners for the rezoning or approval. Owners of real estate entirely located outside Marion County are not included, however. The identity of owners shall be determined from the records in the offices of the various Township Assessors of Marion County which list the current owners of record. (This paragraph defines the category of persons entitled to receive personal notice of the rezoning or approval under the rules in force at the time the commitment was made);
3. \_\_\_\_\_
4. \_\_\_\_\_

These COVENANTS may be enforced by the Metropolitan Development Commission.

**FPNA LETTER RECEIVED AUGUST 12, 2015**

Fletcher Place Neighborhood Association, Inc.  
526 S. Pine St  
Indianapolis, IN 46203

August 11, 2015

Ms. Emily Jarzen  
Indianapolis Historic Preservation Commission  
200 E. Washington St., Suite 1801  
Indianapolis, IN 46204

RECEIVED

AUG 12 2015

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

Dear Emily,

I'm writing in regard to a petition for a modification of commitments for the property at 702 Virginia Avenue. This letter is an update to the letter sent on May 25, 2015.

Prior to the June IHPC hearing, the owners of the business at this location met twice with the Fletcher Place Neighborhood Association's Land Use Committee. They also came and spoke at the Fletcher Place Neighborhood Association's May meeting. Since that time they have been in correspondence with the Land Use Committee.

The petitioners have requested two modifications to the commitments that they made last year in case number 2014-VHP-003. One is to extend their hours of operation from 10:00 p.m. to 12:00 midnight every night of the week. Their other request is to revoke their commitment to refrain from offering live entertainment on the premises, both indoor and outdoor.

The Fletcher Place Neighborhood Association **recommends denial of the request to extend the operating hours to midnight daily.** Among the reasons for the recommendation of denial are:

1: *Disruption of the quality of life for the residents of Elm Street.* The Marion County zoning ordinance does not allow for bars and residences to be located in close proximity for good reason. These two uses by their natures do not make comfortable neighbors. This was been demonstrated by Hotel Tango. The noise and traffic caused by Hotel Tango has had a negative effect on the residents of Elm Street. Allowing them to extend their hours to midnight, every night of the week, will extend that disruption into hours of the day when nearby residents have a reasonable expectation of quiet.

2: *Respect for the system.* The current request is to modify commitments made only last year. It is imposing on the good will of the commission, staff, neighbors and neighborhood association and their faith in the system to be requesting these modifications so quickly. If petitioners learn that they can make commitments to gain the trust and approval of the commission, staff, neighbors and neighborhood association, but then can simply modify them once their business is up and operating; it sets a precedent of making commitments without the serious intention of living up to them. In the case of

this petitioner, the association was encouraged to believe that this business would be a tasting room, a low-intensity, low-impact business catering to tourists. This concept was furthered by the restriction of hours and the commitment to restrict live entertainment. Instead this business has proved to be a bar, a high-intensity, high-impact business with over 50 nights of live entertainment so far. Had the association not believed that Hotel Tango was serious about accepting the 2014 commitments, the association would not as readily recommended approval of their initial petition. These petitioners should not be rewarded for presenting themselves as one thing when really they were another.

3: *Setting a precedent for other petitions in the neighborhood.* The association has reached agreements with other petitioners in the last year to limit hours to 10:00 p.m. Both the Historic Preservation Commission and the Metropolitan Development Commission have approved these commitments. The association intends to continue to request these hours in future petition negotiations in order to both protect our quality of life and to maintain fairness among the neighborhood's businesses. Lengthening the hours for 702 Virginia Avenue is not fair to the other business owners who have made this commitment and have chosen to abide by it. It also opens the door to other property owners to attempt to renege on their commitments.

4: *Maintaining the character of the neighborhood.* The Fletcher Place Neighborhood is gratified that it has evolved into one of the City's most talked-about neighborhoods, but not at a cost to our quality of life. We do not want to become another of the City's bar districts with the attendant noise, rowdiness, trash and vandalism.

The Fletcher Place Neighborhood Association recommends **approval of the request to allow live entertainment, but only with conditions.** These conditions are:

1. No live entertainment shall occur until all commitments made in 2014-VHP-003 are completed and all zoning code violations are cleared.
2. The overhead door shall be shut during all indoor live entertainment.
3. All live entertainment (indoor or outdoor) shall cease at or before 10:00 p.m.
4. Outdoor live entertainment shall be allowed only by prior written agreement between the business operator and the Fletcher Place Neighborhood Association or its successors.

We understand that the petitioner is in agreement with these conditions. **However, if the petitioner does not agree to these conditions, the Fletcher Place Neighborhood Association recommends denial of this portion of the petition.**

If you have any questions, or if new information concerning this request arises, please contact me. Thank you for the opportunity to comment on this request.

Fletcher Place Neighborhood Association

# ***UPDATE:***

## **PETITION FOR MODIFICATION OF COMMITMENTS**

### **FINDINGS OF FACT**

THE PROPOSED MODIFICATION OF COMMITMENTS IS IN FURTHERANCE OF THE ORIGINAL VARIANCES FOR WHICH THE COMMITMENTS WERE MADE BECAUSE

Hotel Tango Whiskey, LLC (“Petitioner”) is a business located at 702 Virginia Ave., Indianapolis, IN 46203. Petitioner is also located in Fletcher Place, a historic neighborhood in downtown Indianapolis. Petitioner is an Artisan Distillery that distills and bottles ultra premium spirits. Petitioner is allowed to sell spirits by the sample, cocktail, and bottle or case.

The issues at hand are the commitments Petitioner made to the Fletcher Place Neighborhood Association, prior to opening for business. Petitioner made the commitments months before the business was actually operational. Specifically, Petitioner committed to not having live entertainment, and to closing their business at 10:00PM every night of the week. Petitioner officially opened for business on September 15<sup>th</sup>, 2014.

Once operational, Petitioner noticed an almost immediate organic outgrowth of the business. Customers began requesting live entertainment and that the hours of operation be extended to 12:00AM. These two requests from customers have become a repeating theme Petitioner hears on a weekly basis. During its time under operation, Petitioner has received two phone calls from neighbors regarding loud music. These complaints were made at 7:00PM, and were corrected by 7:15PM without further incident. Petitioner has never been cited by police or code enforcement for noise violations. Petitioner is in compliance with all commitments made to the neighborhood, and is working with the Fletcher Place Neighborhood Association to finalize completion of the dumpster enclosures.

Since Petitioner’s initial request to amend the original commitments, Petitioner has worked very closely with the Fletcher Place Neighborhood Association and their Land Use Committee as well as IHPC to reach a more perfect agreement. This has been documented by dozens of emails back and forth, and several neighborhood meetings. Petitioner has invested over \$200,000 for the improvement of property in Fletcher Place. Prior to Petitioner using the property, the property sat boarded up, abandoned, and was an environmental hazard for any potential tenant. Petitioner spent their own money to improve a property they do not own.

Petitioner understands the concerns of the neighborhood, and has tried to work very hard with them to alleviate their worries. However, Petitioner believes the neighborhood has been unreasonable in its response to Petitioner’s request for extended hours of operation and live entertainment. Petitioner has compromised on several issues regarding these amendments, while the neighborhood association has been stalwart in its refusal to make any concessions.

Because of Fletcher Place’s refusal to allow Petitioner to amend its original commitments, Petitioner is losing up to \$4,000 per weekend in revenue. This loss of revenue is detrimentally impacting Petitioner’s ability to operate a fledgling business. Since making the request for these amendments, Petitioner has lost between \$50,000 and \$60,000 in revenue. In comparison, there is not one other business which serves alcohol, located in a historic district, that is restricted from staying open until 12:00AM.

Furthermore, Petitioner believes it is arbitrary and capricious to differentiate between other businesses serving alcohol located in historic districts (e.g. Lockerbie Pub, Black Acre Brewery, Tinker Street, etc.) that are allowed to stay open until 12:00AM, but restricting Petitioner from staying open.

Petitioner believes the combination of its large investment into the neighborhood, environmental remediation of the property, continued community involvement, and lack of complaints against Petitioner from the neighborhood demonstrates why Petitioner should be granted approval of the amendments.

<b>COA #</b> <b>2015-COA-244 (RP)</b> <b>2015-ZON-057</b> <b>2015-VHP-033</b>	<b>INDIANAPOLIS</b> <b>HISTORIC PRESERVATION COMMISSION</b> <b>STAFF REPORT</b>	<b>Hearing Date</b> <b>AUG. 19, 2015</b>
<b>944, 946, 954 and 1010 DR. MARTIN LUTHER KING, JR. ST.</b> <b>507 and 517 W. 10<sup>th</sup> STREET</b> <b>933 and 935 N. CALIFORNIA STREET</b> <b>RANSOM PLACE</b>		<i>Continued from:</i>  <i>August 5, 2015</i> <i>July 15, 2015</i> <i>July 1, 2015</i>
<b>Applicant &amp; mailing address:</b>	<b>Timothy W. Cover</b> 8604 Allisonville Rd, Suite 330 Indianapolis, IN 46250	Center Twp. Council District: 15 Vop Osili
<b>Owner:</b>	<b>OLAF LAVA, LLC</b> 601 N. College Ave Suite 1A Bloomington, IN 47404	
<b>COMBINED CASES</b>		
<b>IHPC COA: 2015-COA-244 (RP)</b>	<ul style="list-style-type: none"> <li>• Construction of four residential structures</li> <li>• Variances of Development Standards</li> <li>• Rezoning</li> </ul>	
<b>2015-ZON-057</b>	Rezone site from I3U & C3 to CBDS.	
<b>2015-VHP-033</b>	Variances of Development Standards for construction within the required clear sight triangle & a reduction in the front yard setback along 10 <sup>th</sup> St.	
<b>STAFF RECOMMENDATION: Approval</b>		

<b>STAFF COMMENTS</b>
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**Update Since the Preliminary Review---July 15, 2015**

The applicant has updated the proposed plans after hearing the Commissioner’s comments. The plans also include updates based on additional conversations from a meeting since the Preliminary Review with property owners in Ransom Place neighborhood. Those updates are summarized below.

**Project Description**

The applicant is asking for a Certificate of Appropriateness for:

- Construction of four residential structures (two duplex structures and two multifamily structures)
- Variances of Development Standards to allow construction within the required front yard setback along 10<sup>th</sup> Street (for Building “A” at 517 W. 10<sup>th</sup> Street) and for construction within the clear sight triangle on this same site.
- Rezoning of the sites for buildings C and D (507 W 10<sup>th</sup> Street, 944, 946, 954 and 1010 Dr. Martin Luther King Jr Street.)

**Decreased Project Density**

At the Preliminary Review, commission members suggested that the project might be too dense. The applicant has reduced the overall number of units and increased the number of parking spaces.

Original Plans: 57 units/ 99 beds/ 61 parking spaces required/ 84 provided

Revised Plans: 52 units/97 beds/ 59 parking spaces required/ 93 provided

### **Reduced Scale of Buildings C and D**

The overall height of building C and Building D has been lowered. Building C was lowered by 2'-4". Building D was lowered at the primary parapet (excluding the bump at elevator) by 7'-2".

### **Architectural Design**

**Building A (517 W. 10<sup>th</sup> St) Two-Family Residence with Surface Parking.** The Building A site was originally two lots with two houses. The proposed structure is to be a two-story, two-family house. The exterior will be clad in fiber cement lap siding. There is an offset in the building so the two units are distinguishable from each other. The roofline and shape of the building is in keeping with the surrounding area. The windows will be either vinyl or aluminum clad. The porches will be made of wood. There is an existing house between buildings A and B, and the front setback of Buildings A and B will match the front setback of that structure.

The applicant has revised the window proportions and has added an elevated front porch in response to the Commission's comments at the Preliminary Review.

**Building B (933 and 935 N. California St.) Two-Family Residence with Surface Parking.** The Building B site was originally two lots with two houses. A two-story, two-family house is proposed. The exterior will be clad in fiber cement lap siding. An offset in the building makes the two units distinguishable from each other. The roofline and shape of the building is in keeping with the surrounding area. The windows will be either vinyl or aluminum clad. The porches will be made of wood.

The applicant has revised the proportions of the windows and has added an elevated front porch in response to the Commission's comments. The paint colors are adjusted in response to commission comments, although Ransom Place does not actually require paint color approval.

**Building C (517 W. 10<sup>th</sup> St. and 944, 946, and 954 Dr. Martin Luther King Jr. St.) Multi-family Building with Internal Parking.** Building C's site was originally four lots with one store and three single-family houses. The proposed building is to be three floors with 21 apartments and 26 beds. There will be 26 on-site parking spaces. The overall design of the structure is residential, and stylistically traditional.

The plans have been modified to include a more brick on the building as well as fiber cement lap siding. The floor plans have been modified so the northeast corner of the building has a commercial appearance at the street level. This area will include the leasing office, gym and community room. The overall height of the structure has been lowered to reduce the scale in response to the commissioners' comments. The color scheme on the building has been toned down, although paint colors do not require approval in Ransom Place.

**Building D (1010 Dr. Martin Luther King Jr St.) Multifamily Residential Building with Parking Garage.** The Building D site was most recently a gas station that has since been demolished. Historically, it was four lots with four houses and three stores. A four level apartment building with 27 units and 57 beds is proposed. There will be 49 parking spaces on-site, 43 internal and 6 surface spaces at the rear of the building. Some fiber cement lap siding is proposed, but it is used minimally. The roof is flat and it more closely mimics the height and mass of the historic Dunbar Court Apartment Building directly to the north. All the windows on the building will be vinyl double hung windows, some with transoms.

The building is sided mostly with brown brick, which has been added since the Preliminary Review. Also in response to commission comments, the overall height of the building has been lowered, the color scheme has also been toned down, the garage doors have been lowered and reshaped to better compliment the architecture of the building and storefront windows have been re-arranged to create the appearance of a more activated space at the ground level.

**Variances of Development Standards: Building A**

The applicant is asking for Variances of Development Standards to allow construction within the required front yard setback along 10<sup>th</sup> Street (for Building “A” at 517 W. 10<sup>th</sup> Street) and for construction within the clear sight triangle on this same site. Because 10<sup>th</sup> Street is a primary arterial on the Thoroughfare Plan, the required front yard setback is 70 feet from the centerline. That setback would be approximately halfway into the site, making it virtually unbuildable. The applicant is showing the structure as having an approximately 8 foot setback to the eave, and the parking area as being about 3 feet back from the property line.

The applicant is also asking for a variance to allow construction within the clear sight triangle at the northeast corner of the site where the proposed parking area and fence is located. The fence will be in the triangle, but just a small corner of it. Staff does not believe that the granting of this variance will be harmful if granted. The right-of-way along 10<sup>th</sup> Street is setback behind the sidewalk three feet.

**Rezoning from C3 and I3U to CBDS**

The applicant is requesting a rezoning of the sites for buildings C and D (507 W 10<sup>th</sup> Street, 944, 946, 954 and 1010 Dr. Martin Luther King Jr Street.) The Building C site is zoned I-3-U (Industrial) and the Building D site is zoned C3.

The Ransom Place Plan recommends site C be rezoned either D8 or CBD-2. Staff believes the request for CBDS is not inconsistent, as CBDS is a customized Central Business District zoning classification. Site D is recommended to remain C3. However, C3 allows commercial uses that the Commission has found to be inappropriate in the past, specifically gas stations. The CBDS rezoning would limit the allowed uses on this site to only those approved on the site and development plan. Therefore, if the applicant does not follow through with the plans, any future developer would have to rezone the site for the new proposed use and development.

**STAFF RECOMMENDED MOTIONS**

**COA #2015-COA-244 (RP):**

**To approve a Certificate of Appropriateness for:**

- 1. Construction of four separate residential structures**
- 2. Variances of Development Standards**
- 3. Rezoning**

**as per the submitted documentation and subject to the following stipulations:**

**DCE: PERMITS MAY NOT BE ISSUED until stipulations number 1, 2, and 3 are fulfilled.**

- 1. Construction must not commence prior to approval by the IHPC staff of final construction drawings.**  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*
- 2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction.**  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*
- 3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction.**  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*

4. A durable marker indicating the date of construction must be incorporated into the front foundation of the building and approved by IHPC staff prior to installation.
5. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
6. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
7. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.
8. All siding and trim must be smooth, and free of embossed wood grain or rough-sawn textures.

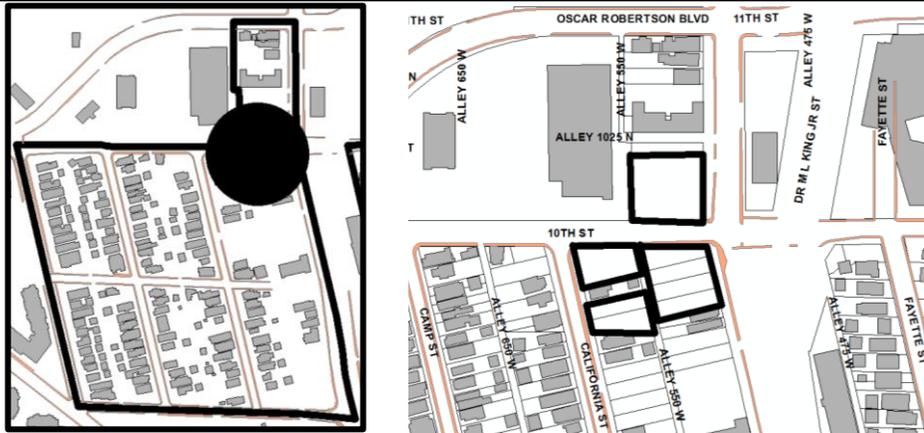
**VARIANCES 2015-VHP-033:**

**To approve Variances of Development Standards for construction within the required clear sight triangle & a reduction in the front yard setback along 10<sup>th</sup> St. at 507 W. 10<sup>th</sup> Street.**

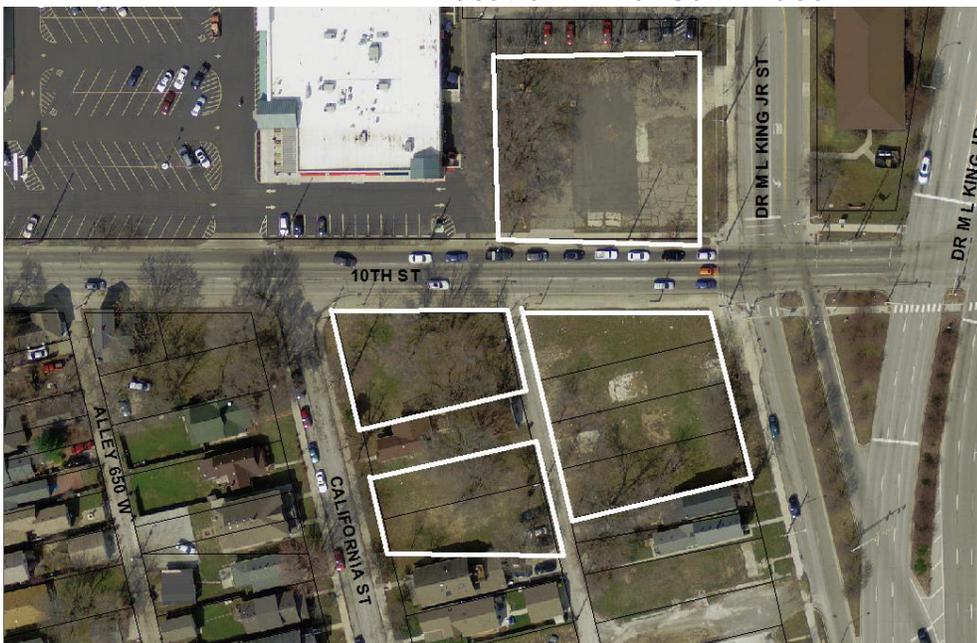
**REZONING 2015-ZON-032:**

**To recommend approval to the Metropolitan Development Commission to rezone the subject sites from C-3 and I-3-U to CBD-S as per the submitted site and development plan and approved architectural plans.**

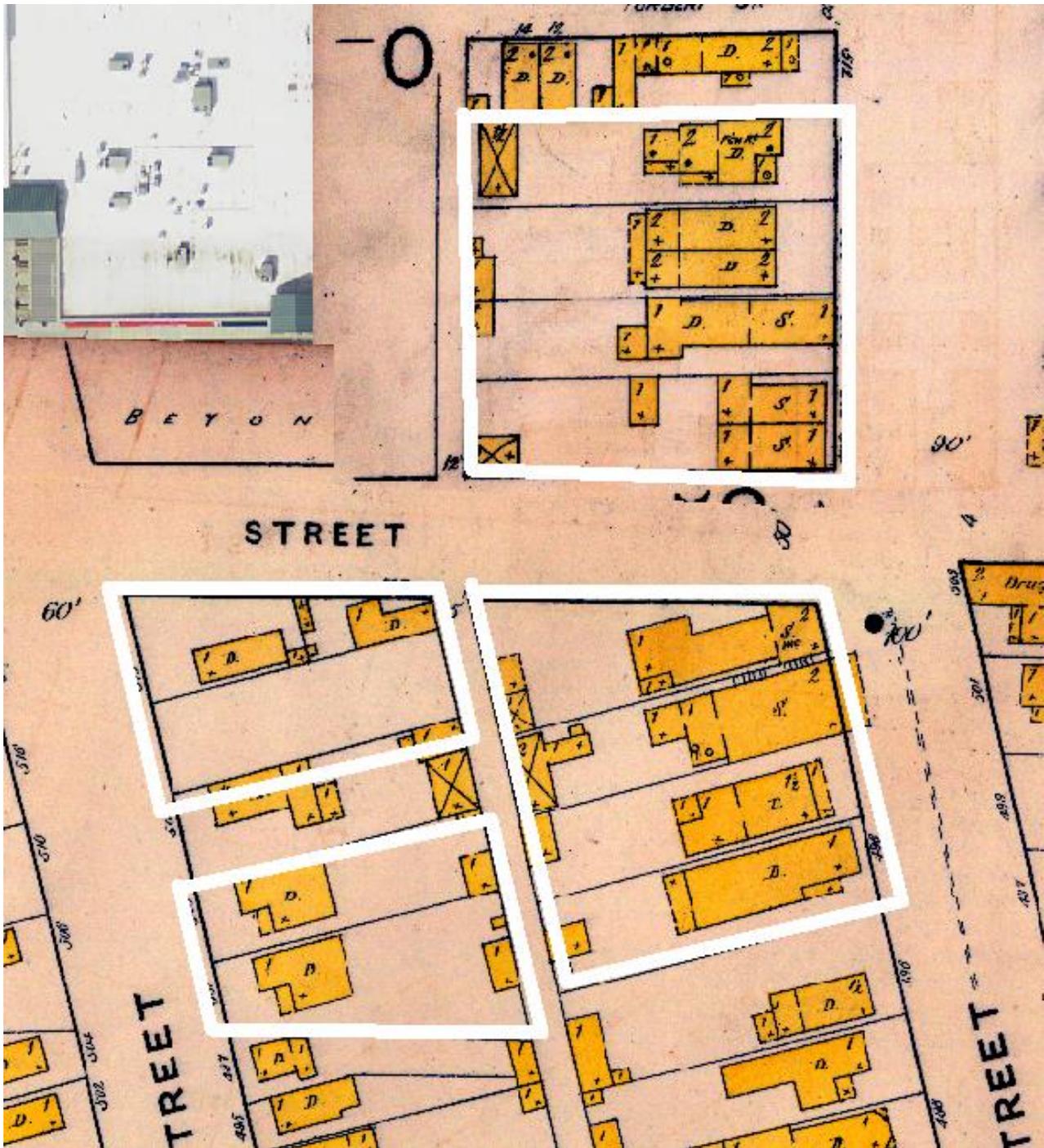
**Staff Reviewer:** Meg Purnsley



**Location in Ransom Place**



**2015 Aerial Photo**



1887 Sanborn



**View of proposed site for Building D**



**View of proposed site for Building C**



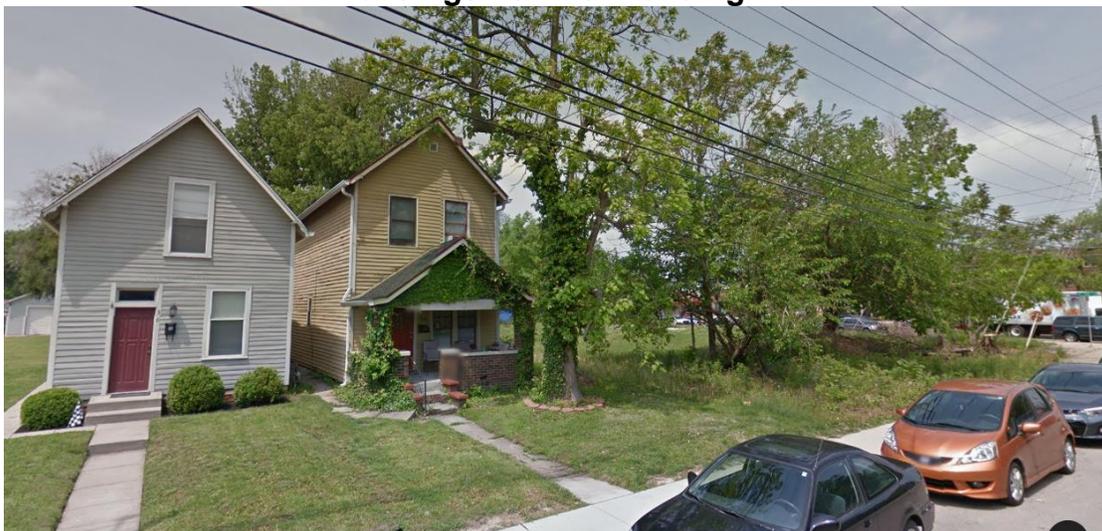
**View of proposed site for Building A and B**



**941 N California St (house between Building A and B)**

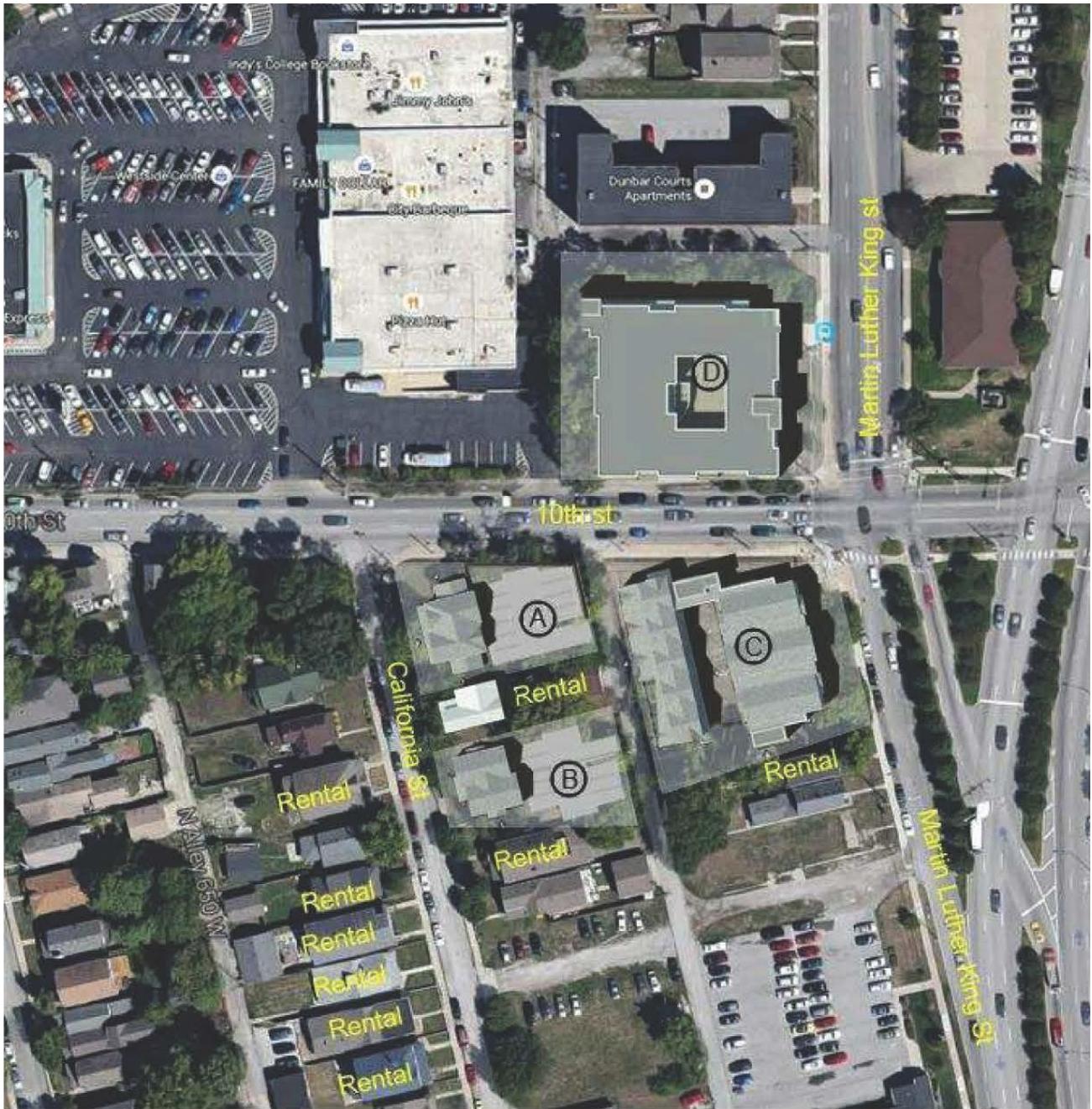


**Buildings north of Building D**



**Buildings south of the subject site for Building C**

**CURRENT PROPOSED PLANS--- AUGUST 19<sup>th</sup>**  
**(A full set of Plans will be included in the Commission Packets)**



**OVERALL SITE PLAN**

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## **BUILDING A and B**



935 California St - looking North (site B)

ERL-LLC, Indianapolis IN

**STUDIO  
THREE  
DESIGN** 8604 Allisonville Road  
Suite 330  
Indianapolis, IN 46250  
Phone: (317) 595-1000  
Fax: (317) 572-1236

# **BUILDING C**



# **BUILDING D**





# **PLANS SEEN AT THE PRELIMINARY REVIEW--- July 15th**



517 10th St. - Intersection of 10th/California St Looking East (Site A)



935 California St - Looking North (Site B)

ERL-9, LLC  
Indianapolis, IN





**507 - RENDERINGS**

Ransom Place Apartments

507 - RENDERING


 8604 Allis  
 Suite 330  
 Indianapo  
 Phone: (317)  
 Fax: (317)



507 10th St - Site C - View Looking North on MLK


 STUDIO  
 THREE  
ARCHITECTURE & INTERIOR DESIGN



507 10th St. - Alley View Looking North East

STUDIO THREE



1010 - RENDERING

1010 - RENDERING STUDIO THREE 861 Sul



1010 MLK St. – View Along 10th St Looking East



1010 Martin Luther King St. – MLK looking South-West



COA # 2015-COA-280 (HMP)	<b>INDIANAPOLIS HISTORIC PRESERVATION COMMISSION</b>	Hearing Date <b>AUGUST 19, 2015</b>
<b>STAFF REPORT</b>		Continued from: August 5, 2015 Amend Plans Previously Approved May 7, 2014 For 2014-COA-106 (HMP)
<b>1618 N. NEW JERSEY STREET HERRON-MORTON PLACE</b>		
<b>Applicant</b>	PHIL & CARYN GUBA	
mailing address:	307 S. Delaware Street, Apt. 307 Indianapolis, IN 46204	
<b>Owner:</b>	Same	
<b>CASE</b>		
<b>IHPC COA:</b>	<b>2015-COA-280 (HMP)</b>	Amend plans approved under 2014-COA-106 (HMP) for single-family house and detached garage to include a partially metal roof on the house and a 2 <sup>nd</sup> floor above the garage.
<b>STAFF RECOMMENDATION:</b>	<b>Hear request without staff recommendation</b>	

**STAFF COMMENTS**

At the August 5, 2015 IHPC Hearing, the above case was continued to allow time for the applicant to further develop the plans. Staff has not written a report due to the short time between the two hearings. The applicant has not submitted new plans, but will do so at the August 19<sup>th</sup> hearing.

**STAFF RECOMMENDED MOTION FROM AUGUST 5th**

**2015-COA-280 (HMP):**

**To approve the proposed changes to the previously approved plans for 2014-COA-106 (HMP) which include a partial metal roof on the house and the addition of a second floor above the garage without living space as per the submitted documentation and subject to the following stipulations:**

- DCE: PERMITS MAY NOT BE ISSUED until stipulations number 1, 2, and 3 are fulfilled.**
1. Construction must not commence prior to approval by the IHPC staff of final construction drawings.  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*
  2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction.  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*
  3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction.  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*

4. Boxed soffits (“bird boxes”) are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.
5. Trim and siding shall be wood or fiber-cement, and shall have a smooth texture and be free of major imperfections. **Rough-sawn finishes are not permitted.** Siding reveal must match approved drawings.
6. A durable marker indicating the date of construction must be incorporated into the front foundation of the house (not the porch) and approved by IHPC staff prior to installation.
7. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
8. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.

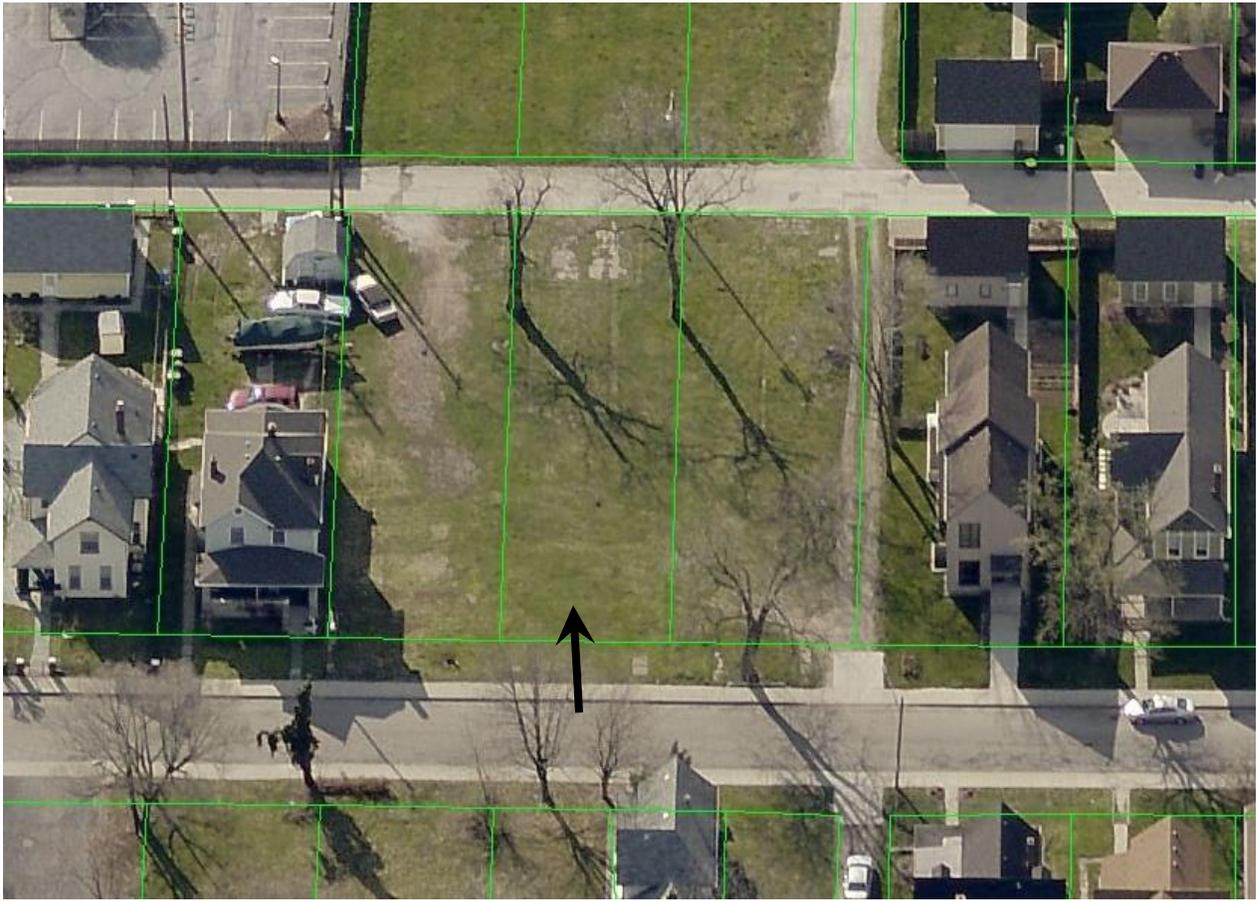
9. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

**NOTE: THIS COA DOES NOT APPROVE A LIVING UNIT IN THE GARAGE. A SEPARATE VARIANCE IS NEEDED FOR A LIVING UNIT IN THE ACCESSORY STRUCTURE.**

**Staff Reviewer:** Meg Purnsley



Maps of subject property



**Aerial of subject property**

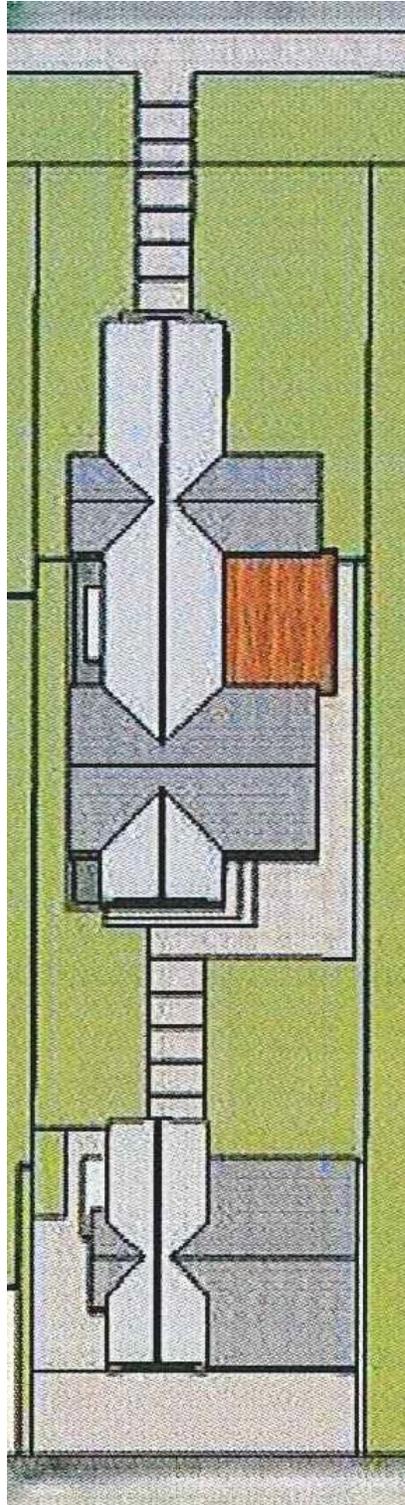


**View of subject property**

## Surrounding Context



**PLANS FROM AUGUST 5th**



**LIGHT GRAY SHOWS METAL, DARK GRAY SHOWS ASPHALT**



**AERIAL VIEWS OF ROOF MATERIEL CHANGES AND REVISED GARAGE**

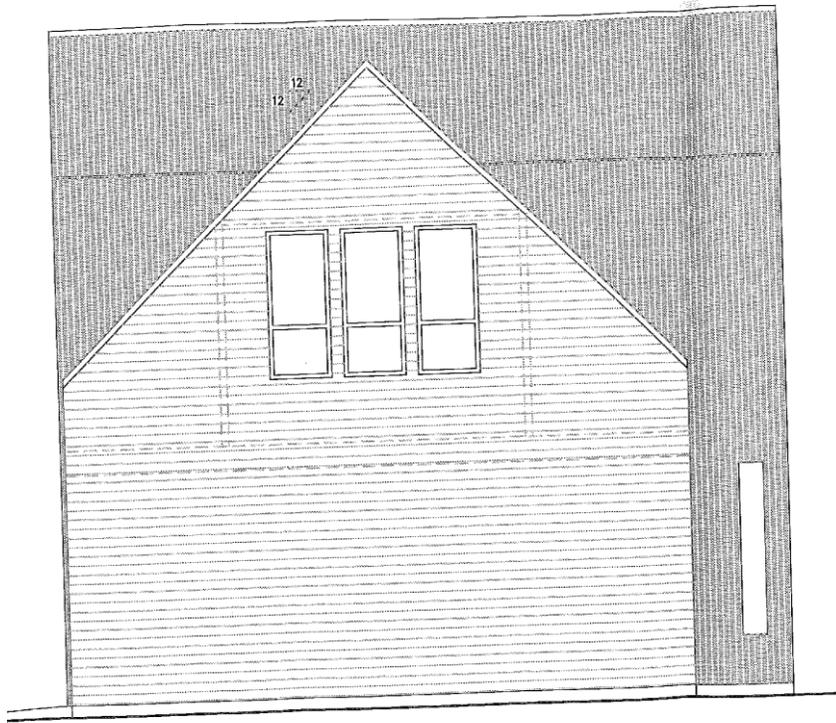




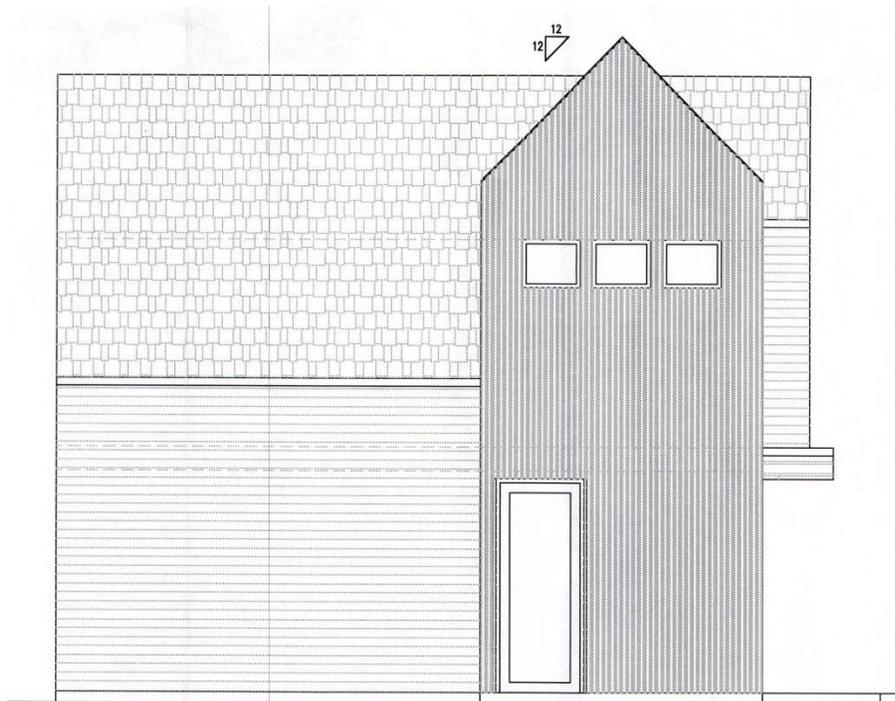
**SOUTH SIDE OF HOUSE AND GARAGE (ABOVE AND BELOW)**



**FRONT AND SOUTH SIDES**



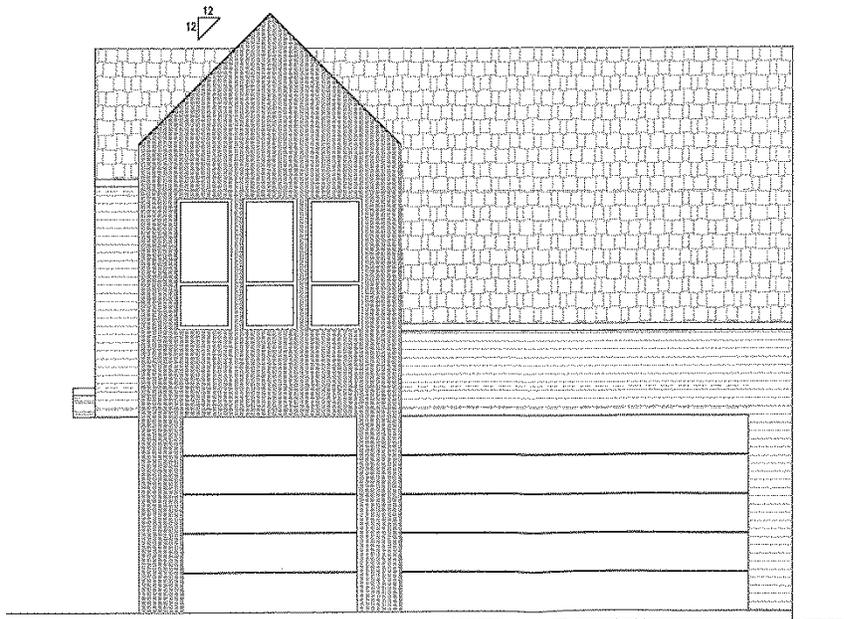
**CARRIAGE HOUSE (SOUTH ELEVATION)**



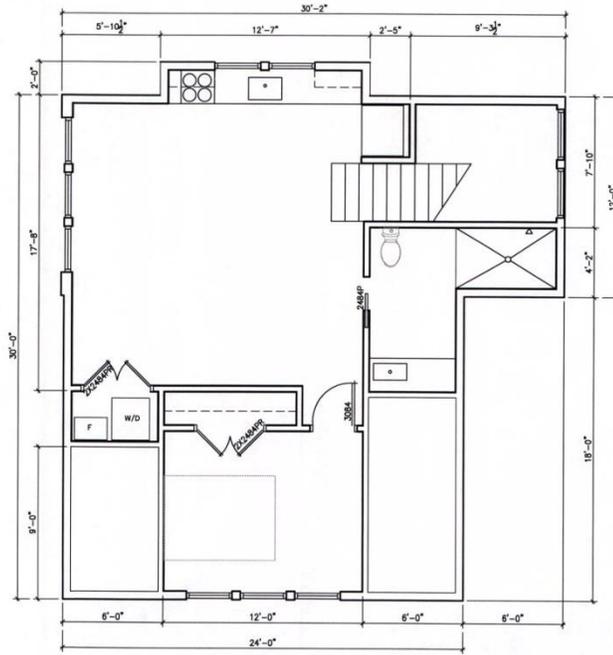
**CARRIAGE HOUSE (EAST ELEVATION)**



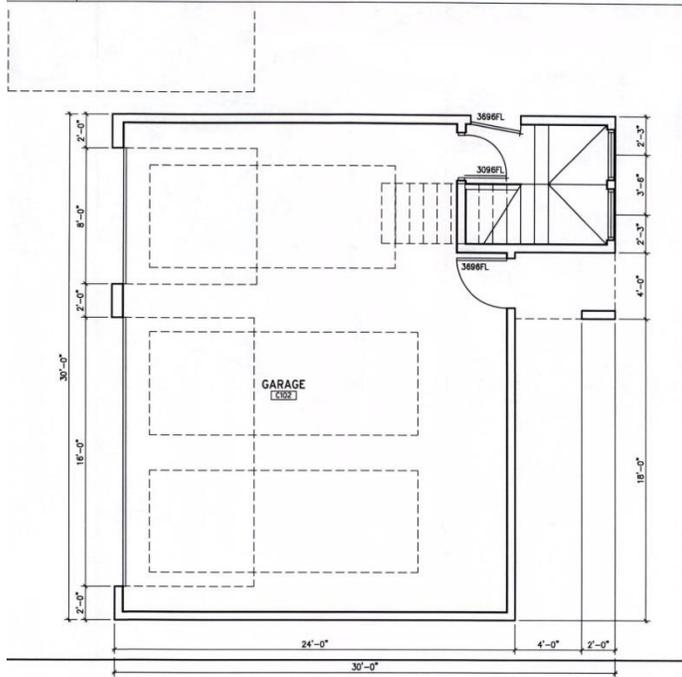
**CARRIAGE HOUSE (NORTH ELEVATION)**



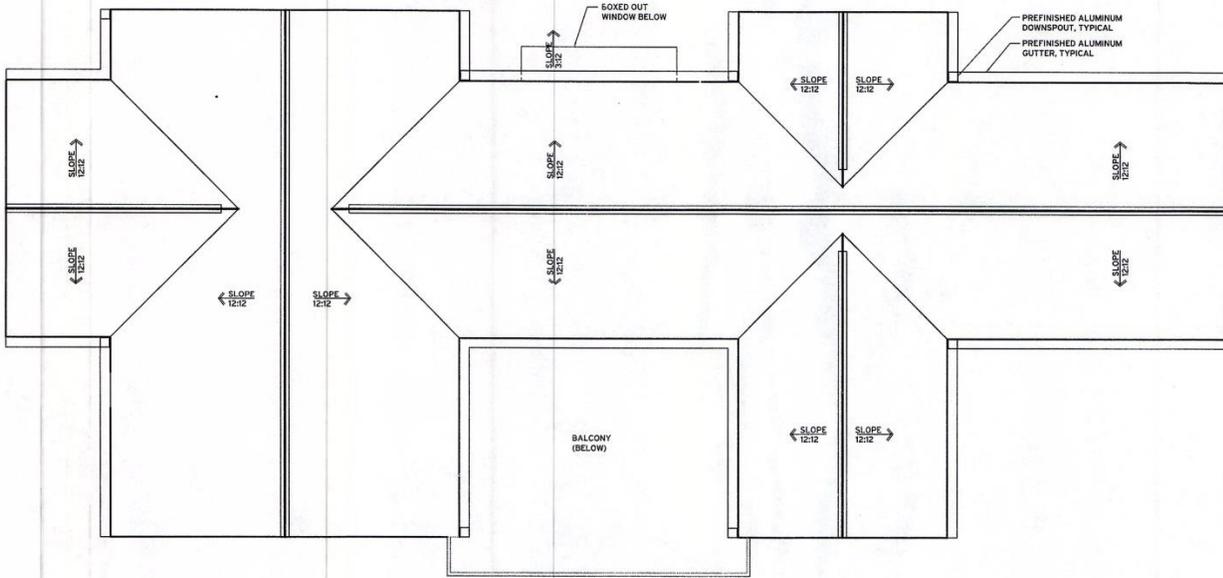
**CARRIAGE HOUSE (WEST ELEVATION)**



**2 CARRIAGE HOUSE UPPER LEVEL PLAN**  
1/4" = 1'-0"



**1 CARRIAGE HOUSE MAIN LEVEL PLAN**  
1/4" = 1'-0"



**2 ROOF PLAN**

1/4" = 1'-0"

<b>COA #</b> <b>2015-COA-295 (CAMA)</b>	<b>INDIANAPOLIS</b> <b>HISTORIC PRESERVATION COMMISSION</b> <b>STAFF REPORT</b>	<b>Hearing Date</b> <b>AUG. 19, 2015</b>
<b>333 N ALABAMA ST</b> <b>CHATHAM-ARCH &amp; MASSACHUSSETS AVE</b>		<i>Continued from:</i> <i>August 5, 2015</i>
<b>Applicant &amp; mailing address:</b>	<b>ERIC GERSHMAN, GERSHMAN PARTNERS</b> 600 E. 96 <sup>th</sup> St, Suite 150 Indianapolis, IN 46240	
<b>Owner:</b>	Endless Success Foundation, Inc. 10 West Market Street, Suite 1990 Indianapolis, IN 46204	Center Twp. Council District 9 Joseph Simpson
<b>CASE</b>		
<b>IHPC COA: 2015-COA-295 (HMP)</b>	<ul style="list-style-type: none"> <li>• <b>Lengthen 2<sup>nd</sup> floor window openings on north and west elevations to existing rowlock sills</b></li> <li>• <b>Install new aluminum windows in lengthened openings</b></li> <li>• <b>Install awnings</b></li> </ul>	
<b>STAFF RECOMMENDATION: Approval</b>		

**STAFF COMMENTS**

**Background of the Property**

The Sears Roebuck Co Building was constructed in 1928 and opened in 1929. Architects Nimmons, Carr and Wright of Chicago, along with supervising architects Pierre and Wright of Indianapolis, designed the Sears, Roebuck, & Company building in the Art Deco Style and its striking tower became a Sears and Roebuck Company signature used in the design of many other of its stores. In 1931, it was expanded by adding two bays on the south side. In the 1950's, it was clad with aquamarine-blue steel panels.



**1929**



**1931**



**1950s**

In 1985-86, the Mansur Development Corporation and Kite Investments Inc. redeveloped this building along with the historic Vienna Building on New York Street and the construction of new buildings at 303 N. Alabama Street and at the corner of New York and New Jersey Streets. It was named Lockerbie Marketplace and Joe O'Malia's grocery store occupied the entire first floor of the Sears building and the top floors were rented out to various companies. The first floor is now occupied by a Marsh grocery store.

The 1985-86 redevelopment included removal of the steel panels and restoration of the original elevations. The most significant alteration sought at the time was to enlarge the second floor windows, which had been designed high on the wall to maximize wall space for the Sears store. However, the developers anticipated difficulty in renting the second floor with such high windows (sills are about 8 ½ ft. above the floor.) Because federal Historic Tax Credits were utilized in the renovation, the developer agreed to only enlarge

only the 2<sup>nd</sup> floor windows on the south side and rear facades. The high windows were retained on the two street-front facades (north and east sides.) [Note: IHPC was not involved with this property in 1985-86]

### **Request to Modify Window Openings**

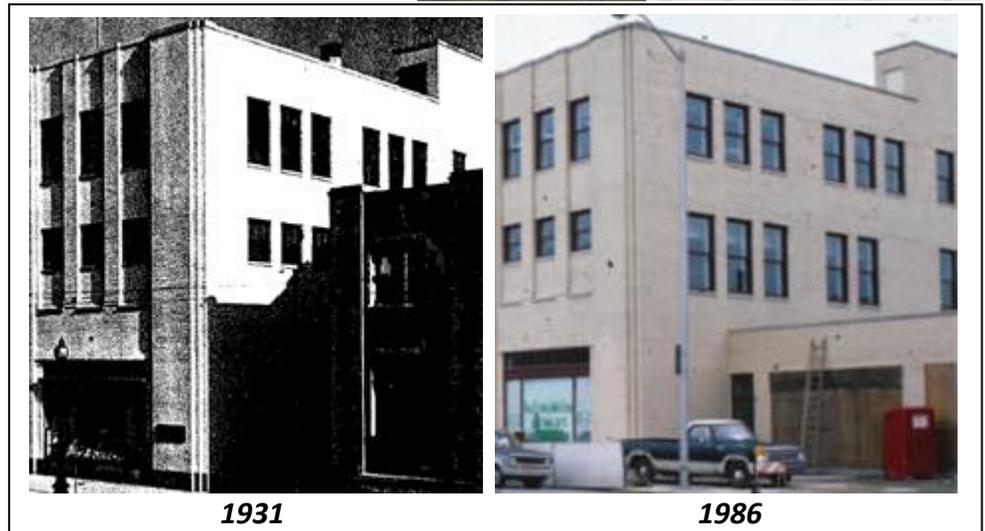
Eric Gershman Partners purchased the property earlier this year and wishes to elongate the 2<sup>nd</sup> floor window openings on the north and west elevations. The experience of owners since the 1986 opening of Lockerbie Marketplace has been that the second floor is difficult to lease because of the high windows, despite the 1985-86 compromise to lengthen the windows on the south side and rear elevations.

**Original Design Intent.** While we do not have the luxury of knowing the original architects' actual thinking about this matter, their final design gives us a hint. They must have recognized the awkward proportions that occur when having to use smaller, high windows on the 2<sup>nd</sup> floor. To visually compensate, they created a 2<sup>nd</sup> floor window "opening" with a sill to header height matching the 3<sup>rd</sup> floor windows. The small window was placed at the top half of the opening and the bottom half was bricked in.



### **Visual Effect of Alteration.**

We can see from the photos on the right that the visual effect of lengthening the windows has not greatly altered the south façade. If anything, it has strengthened a window proportion that the original architects appear to have been trying to achieve by creating larger faux window openings on the 2<sup>nd</sup> floor.



### **Reasons to Approve.**

1. Thirty years of experience has shown that the 1985-86 compromise with the windows has not been successful in making the 2<sup>nd</sup> floor desirable for tenants.
2. It is difficult to adaptively reuse the space without making this modification. the usability of the space (one third of the building space) is integral to the long-term preservation of the entire structure.
3. The elongated openings will be done entirely within the originally designed faux window openings, perhaps executing a design feature, and reinforcing a window proportion that the original architects suggested should exist by their introduction of the faux window openings.

### **Request to Install Awnings**

The applicant is asking to replace the existing awnings with new awnings. The fabric will be new black Sunbrella fabric. The size and location of the awnings will not be changed. If this was the only request, it would have been subject to staff approval. Staff finds this request appropriate.

**Chatham-Arch/Massachusetts Ave Historic Area Plan**

The Plan states the following is not recommended: “Replacement windows not similar to the original in size, dimension, shape, design, pattern, and material. Examples, aluminum clad, vinyl extruded, or vinyl clad windows, simulated “snap-in” muntins, and tinted glass are not considered similar to original wood windows.” Although the Plan recommends against changing the dimensions of original window openings, staff believes that the Plan does not take into consideration that the reuse of a space may sometimes warrant alterations in order to make the more usable. Due to their height, it would be impossible to see out the windows, operate the windows and get adequate light from the windows. This building is also a unique case because the it was originally designed with the larger window openings suggested.

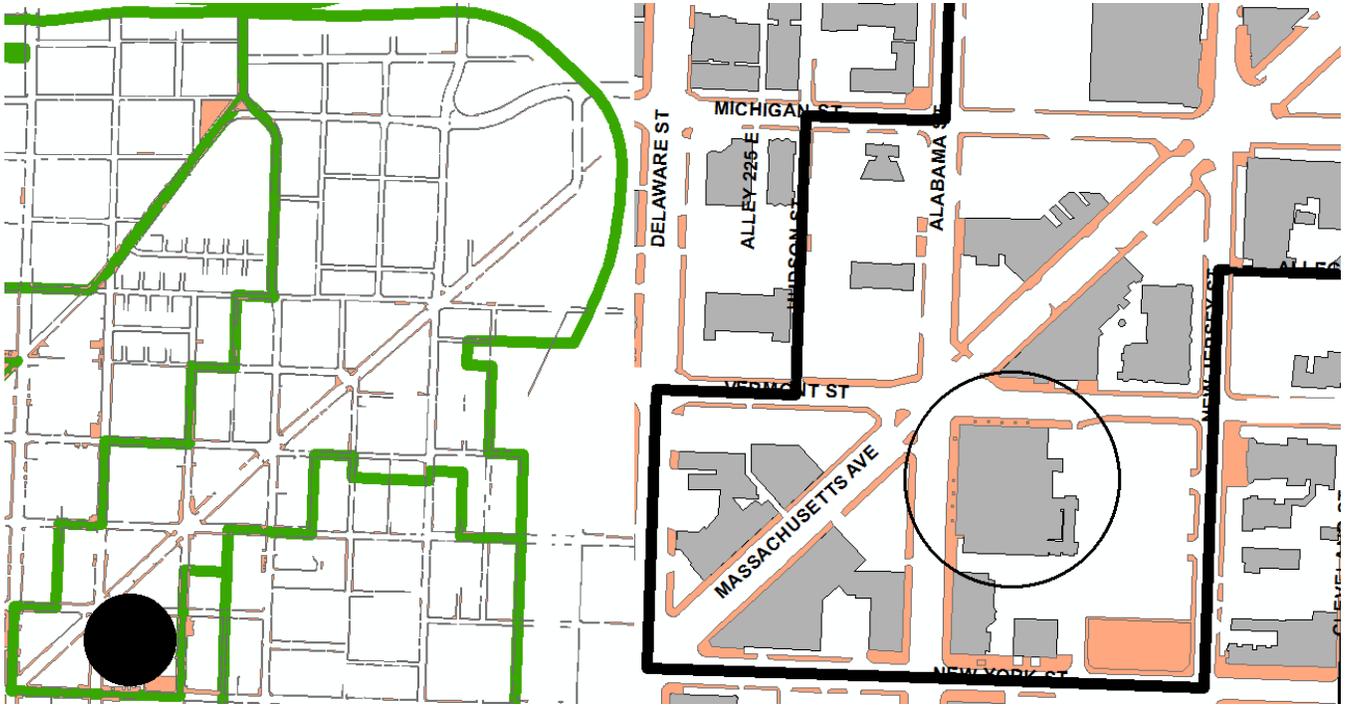
**STAFF RECOMMENDED MOTION**

**COA #2015-COA-295(CAMA):**

**To approve a Certificate of Appropriateness to lengthen 2<sup>nd</sup> floor window openings to the existing rowlock sills on the north and west elevations, install new aluminum windows in those openings and install new awnings on the first floor as per submitted documentation and subject to the following stipulations:**

- 1. New 2<sup>nd</sup> floor window frames and glass should appear to be as closely identical to the third floor windows as possible. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.**
- 2. A cut sheet of all new windows shall be submitted to IHPC staff and approved prior to installation. Approved \_\_\_\_\_ Date \_\_\_\_\_**
- 3. A sample of the awning material shall be provided to IHPC staff prior to installation. Approved \_\_\_\_\_ Date \_\_\_\_\_**
- 4. Existing stone sill at each opening shall be left intact. New windows shall be the same width as the existing and the window header location shall not be modified.**
- 5. Any deviation from this approach shall be approved by IHPC staff prior to construction.**

**Staff Reviewer: Meg Purnsley**



*Location in Chatham-Arch & Massachusetts Ave.*



**1929**



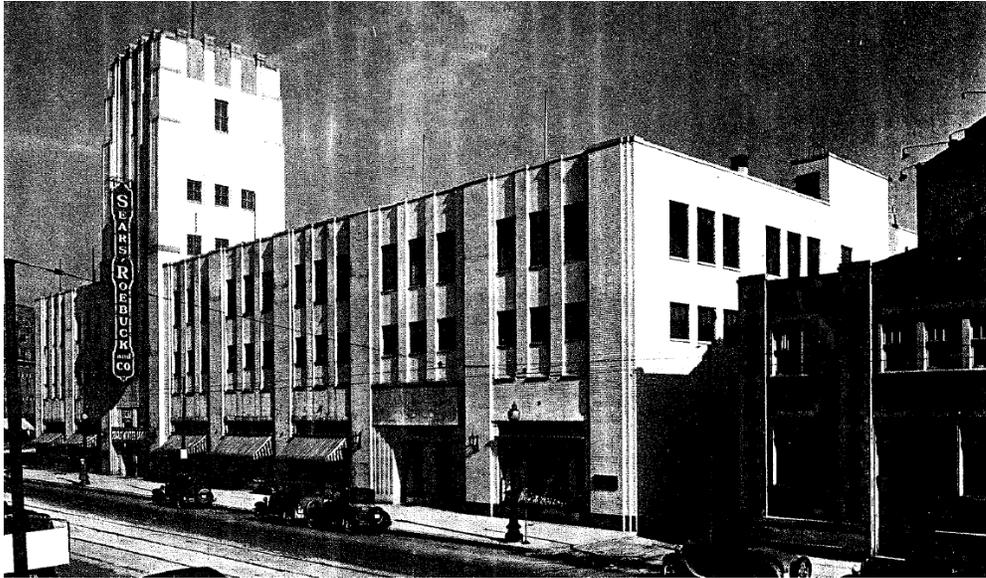
**1950s**



**1986**



**Today**



1931



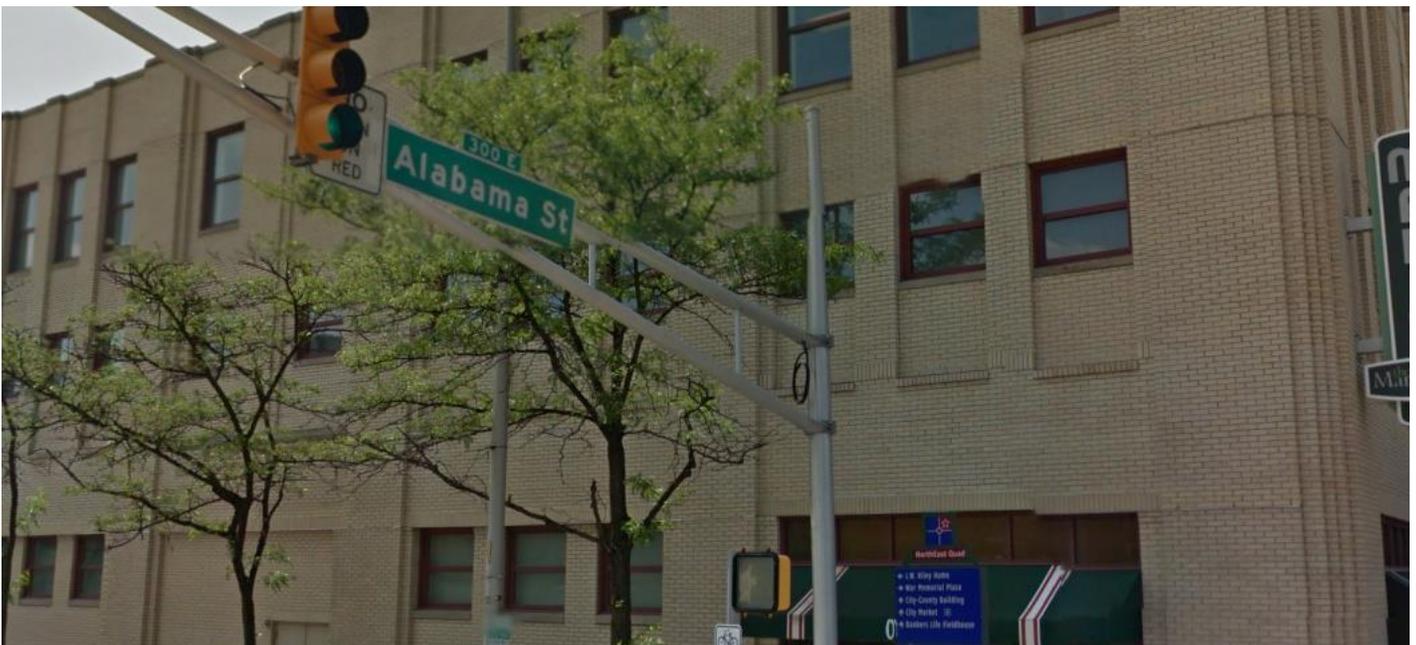
1986



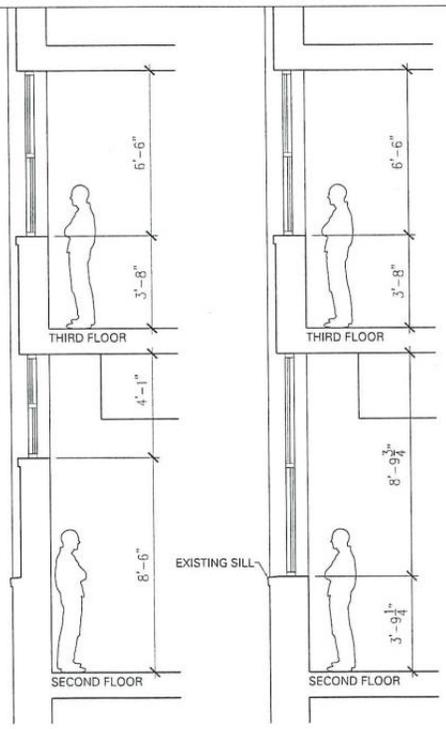
Recent



*Alabama St. (west) Elevation. 2<sup>nd</sup> floor windows to be elongated.*

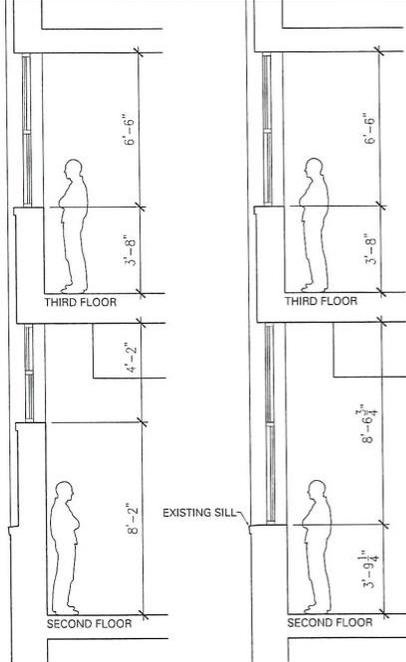


*Vermont St. (north) Elevation. 2<sup>nd</sup> floor windows to be elongated.*



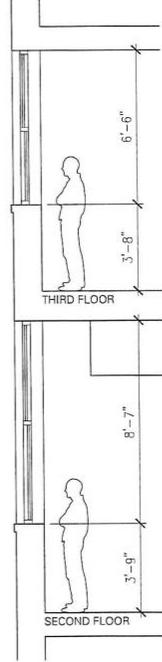
EXISTING PROPOSED

WEST ELEVATION  
ALABAMA STREET



EXISTING PROPOSED

NORTH ELEVATION  
VERMONT STREET



EXISTING

EAST & SOUTH  
ELEVATIONS



*2<sup>nd</sup> floor windows showing larger "faux window openings"*



*View of existing awnings on building*

**Documentation that leasing is difficult**

**Email from Russell VanTil, Vice President of DTZ Commercial Real Estate Services, regarding leasing issues in relation to the existing high windows in tenant areas:**

From: "VanTil, Russell" <[russell.vantil@dtz.com](mailto:russell.vantil@dtz.com)<<mailto:russell.vantil@dtz.com>>>  
Date: July 17, 2015 at 12:20:19 PM EDT  
To: Matt Carlstedt <[mattc@citimarkinc.com](mailto:mattc@citimarkinc.com)<<mailto:mattc@citimarkinc.com>>>  
Subject: 333 N Alabama - 2nd Floor

Matt – I have been a leasing agent at Lockerbie Marketplace since 2011. My partner, Jon Owens, has been involved as leasing agent for many years longer. During the time of our involvement we have shown the 2nd floor vacancies in the 333 N Alabama building to numerous prospects. The building and space have many appealing features for tenants; however, we have never successfully completed a new lease in this space. Without question, the main objection continues to be location of the exterior windows. Because the windows are located so high in the wall, tenants are not able to see out of them and they barely bring in sufficient natural light. Based on feedback we have consistently received over the years, tenants would have leased the vacant space if the windows would have been located lower on the wall.

Russell A. VanTil  
Vice President | DTZ

**Lockerbie Market Place**

**Leasing History/High Window Impact for 333 N. Alabama Building**

Building Name:	333 North Alabama
Building Square Footage:	101,070 SF (including 42,000sf Marsh Grocery Store)
Current Occupancy:	67.92%
Total Square Foot Vacant:	32,421 SF
Second Floor Vacancy:	14,344SF- all with original high windows
Potential New Employee Counts:	Assuming 1 employee per 200sq ft of space. We are planning to bring at least 162 new employees to the entire building with 71 of them in space currently with high windows.

Summary of Vacancy Impacted by High Windows.

Suite 200:

Total Square Footage:	5,384
Last Occupied:	November 2006
Previous Tenant:	CTI Group

Suite 220:

Total Square Footage:	4,134 SF
Last Occupied:	July 2006
Previous Tenant:	Manpower

Suite 280:

Total Square Feet:	4,826
Last Occupied:	10+ Years
Previous Tenant:	Unknown

<b>COA #</b> <b>2015-COA-297(CAMA)</b>	<b>INDIANAPOLIS</b> <b>HISTORIC PRESERVATION COMMISSION</b> <b>STAFF REPORT</b>	<b>Hearing Date</b> <b>AUG. 19, 2015</b>
<b>718 and 720 N. College Ave</b> <b>CHATHAM-ARCH/ MASSACHUSETTS AVE</b>		Amend Plans Approved in 2014-COA-584 (CAMA)
<b>Applicant:</b> <b>BRENT ROBERTS, PHANOMEN DESIGN FOR WILL ZINK, ZINK ARCHITECTURE AND DEVELOPMENT</b> mailing address: 750 N. College Ave Indianapolis, IN 46202	<b>Owners:</b> <u>720 N. College Ave.</u> Will Zink, Zink Architecture and Development 28 E. 96 <sup>th</sup> Street, Suite 160 Indianapolis, IN 46240 <u>718 N. College Ave.</u> 721 Mass. Ave. Property LLC 573 W. Simpson Chapel Rd Bloomington, IN 47404	Center Twp. Council District: 9 Joseph Simpson
<b>AMEND PREVIOUSLY APPROVED PLANS</b>		
<b>IHPC COA: 2015-COA-297 (CAMA) Amend previously approved plans 2014-COA-584 (CAMA)</b>		
<b>STAFF RECOMMENDATION: Approval – If an acceptable storefront design can be fabricated.</b>		

**STAFF COMMENTS**

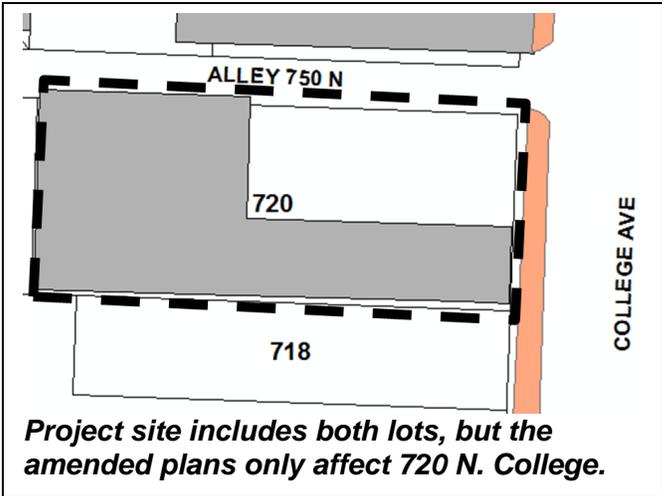
**Background of this COA**

At the February 2015 IHPC hearing, plans were approved to restore the subject buildings, make alterations to the building and site and for a variance of development standards to allow no off-street parking. At that time, the owner was trying to attract a tenant. The owner now has a tenant who requires alterations to the approved plans. The use will be a restaurant, as was anticipated when the plans were presented in February.

**Description of Site**

The project site is made up of two lots:

1. **720 N. College Ave.** 721 Mass. Ave. Property, LLC recently sold this lot to Zink Architecture and Development. All the historic buildings and the proposed courtyard are on this lot.
2. **718 N. College Ave.** This parking lot is being retained by 721 Mass. Ave. Property, LLC, which is allowing Zink to place the dumpster for 720 N. College on it.



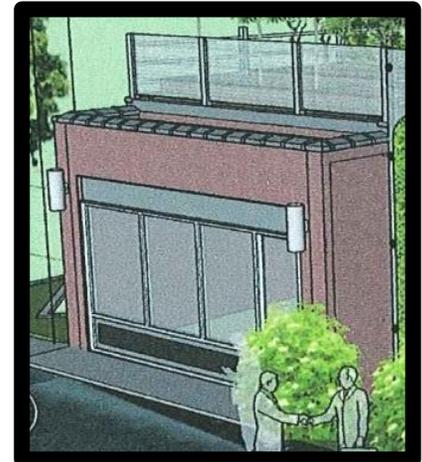
**Project Description**

The applicant is proposing to make several changes from the originally approved design. Overall, staff believes that these changes are sensitive to the historic character of the building, but allows the space to be adaptively reused. The project architect, Brent Roberts with Phanemon Design, has developed the amended plans, which include the following changes:

1. Operable storefront window.



**Amended Storefront**



**Previously Approved**

The main entry to the restaurant will not be through the storefront, but through the new pergola. It is staff's understanding that the bar area will be behind the storefront and the tenant wishes it to periodically open the bar area to the Cultural Trail. Therefore, a storefront window system is being explored that can be raised overhead in one piece, without having to be segmented like a standard garage door. This allows the storefront window to look like a true storefront window when closed, rather than a closed garage door.

**Staff Concerns.** Staff believes the concept of a window wall raised as one unit could potentially solve many of the aesthetic problems that occur when such a window wall is raised like a traditional garage door. However, the design being proposed does not resemble a traditional storefront. Staff believes this system should only be considered if it can be designed to look like a traditional storefront, similar to the approved design above.

2. Removal of green wall at front elevation.



**Amended Plans w/o Green Wall**



**Approved Green Wall**

This tenant does not wish to separate the courtyard area from the Cultural Trail in the way anticipated when the green wall was proposed. Instead, the courtyard area will serve as the entry to the restaurant from the Cultural Trail. A landscape area is proposed, but an actual landscape plan has not been provided yet.

**3. Replace green roof with clerestory roof**



*Amended Roof w/Clerestory*



*Previously Approved Green Roof*

Rather than the green roof previously approved, a large cut in the original flat roof is being proposed, above which will be a raised clerestory roof constructed of metal, glass and wood. This will allow light to enter the building without having to enlarge window opening in the building's elevations. The roof will be a rubber membrane system with the same ribbed detailing as the stair tower roof.

**4. Addition of stair and mechanical tower**



*New Drawing Showing Mechanical Tower*

A stair/mechanical tower is being added at the back of the building. The goal is to provide an area where the mechanicals can all be enclosed in one area and not be viewable from adjacent buildings on the roof. The design is contemporary, but it still allows most of the historic rear portion of the building to be viewable. The materials include metal louvers, storefront glass and a rubber membrane roof with ribbed detailing. The historic materials on this portion of the building have either been replaced or are in such poor condition that replacement is needed.

**5. Pergola structure over patio area**



*Amended Drawing w/Pergola*



*Approved Drawing w/Open Patio*

The proposed pergola creates a sense of place over the patio area without adding an addition to the north side of the historic building. It allows the original window openings on the north elevation to remain while adding usable space to the otherwise small space inside the building. It also allows the space to be protected without being concealed from the street. This will help activate the space and connect it to the sidewalk and Cultural Trail.

**Reasons to Approve**

1. The renovation of the building is respectful of its original design and will allow the front elevation to retain its visual presence and scale on the street – IF an acceptable storefront design can be fabricated.
2. The addition of the stair and mechanical tower allows the architect to conceal necessary equipment for the function of the building while keeping it off the roof where it would be visible to adjacent condo owners.
3. The renovation of the building includes changes to the building, but the reuse of the space will be vital to the preservation of the structure.

**STAFF RECOMMENDED MOTION**

**COA #2015-COA-297(CAMA):**

**To approve a Certificate of Appropriateness to amend the previously approved plans in 2014-COA-584 (CAMA) as per submitted documentation and subject to the following stipulations:**

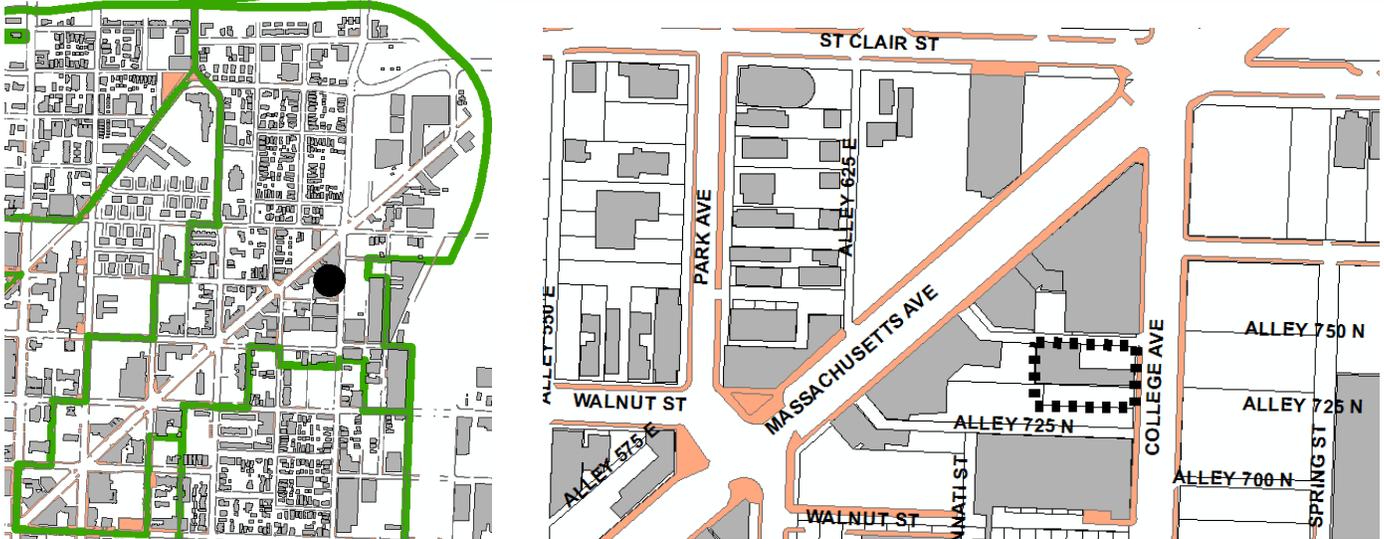
**DCE: PERMITS MAY NOT BE ISSUED until stipulations number 1 and 2 are fulfilled.**

1. **Construction must not commence prior to approval by the IHPC staff of final construction drawings that include a storefront design similar to the one previously approved.**  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*
2. **A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction.**  
*Approved \_\_\_\_\_ Date \_\_\_\_\_*
3. **A landscape plan for the landscape area adjacent to the Cultural Trail must be approved by staff before landscaping is installed. Any changes to the landscape plan in the future must be approved by staff and the area must be maintained in compliance with the approved landscape plan until such time that a new landscape plan is approved.**
4. **Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, utility and mechanical equipment placement, etc.**
5. **Any changes to the proposed design must be approved by IHPC staff prior to commencement of work. Glass shall be clear; any addition of beveling, frosting, etching, caming, or stained glass is NOT permitted under this approval.**
6. **All replacement materials shall match the original materials for which they replace. All new materials shall have the same color, surface texture, and method of construction.**
7. **All original materials on the historic building shall be restored and retained where possible.**
8. **New windows must fit the existing openings; altering existing openings is NOT permitted unless indicated on the approved plans.**
9. **All new, repaired, and/or rebuilt elements shall replicate the documented historic appearance of the windows per IHPC photographs.**
10. **A cut sheet of all new windows and doors shall be submitted to IHPC staff and approved prior**

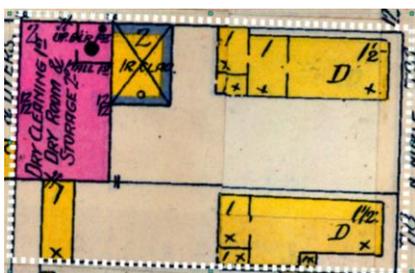
to installation. Approved \_\_\_\_\_ Date \_\_\_\_\_

11. Any deviation from this approach shall be approved by IHPC staff prior to construction.
12. Any knots or surface imperfections shall be filled to achieve a smooth appearance, sanded and primed. Rough-sawn finishes are not permitted.
13. Permanent Coating Systems are not considered appropriate for painting and this certificate does not approve the use of such materials.
14. No alterations to roof size, shape, or pitch are permitted with this approval.
15. Roof decking may be repaired or replaced where necessary. Where roof decking is exposed at eaves, the decking shall match the existing historic material that it replaces. Plywood or OSB decking material may be used in areas where it will be covered by roofing or overhang materials.
16. Mortar and replacement samples must be approved by IHPC staff prior to commencement of work. Approved \_\_\_\_\_ Date \_\_\_\_\_

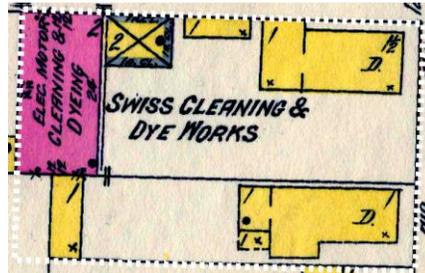
Staff Reviewer: Meg Purnsley



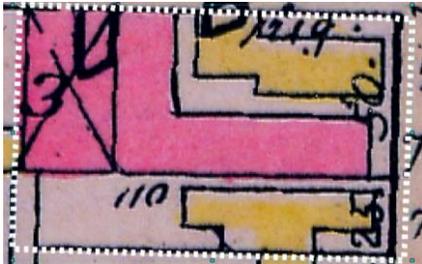
Location in Chatham-Arch and Massachusetts Avenue



1898 Sanborn Atlas



1915 Sanborn Atlas



1927 Baist Atlas



2013 Aerial Photo



**North side (near rear of buildings)**



**Existing Conditions (location of new stair/mechanical tower)**

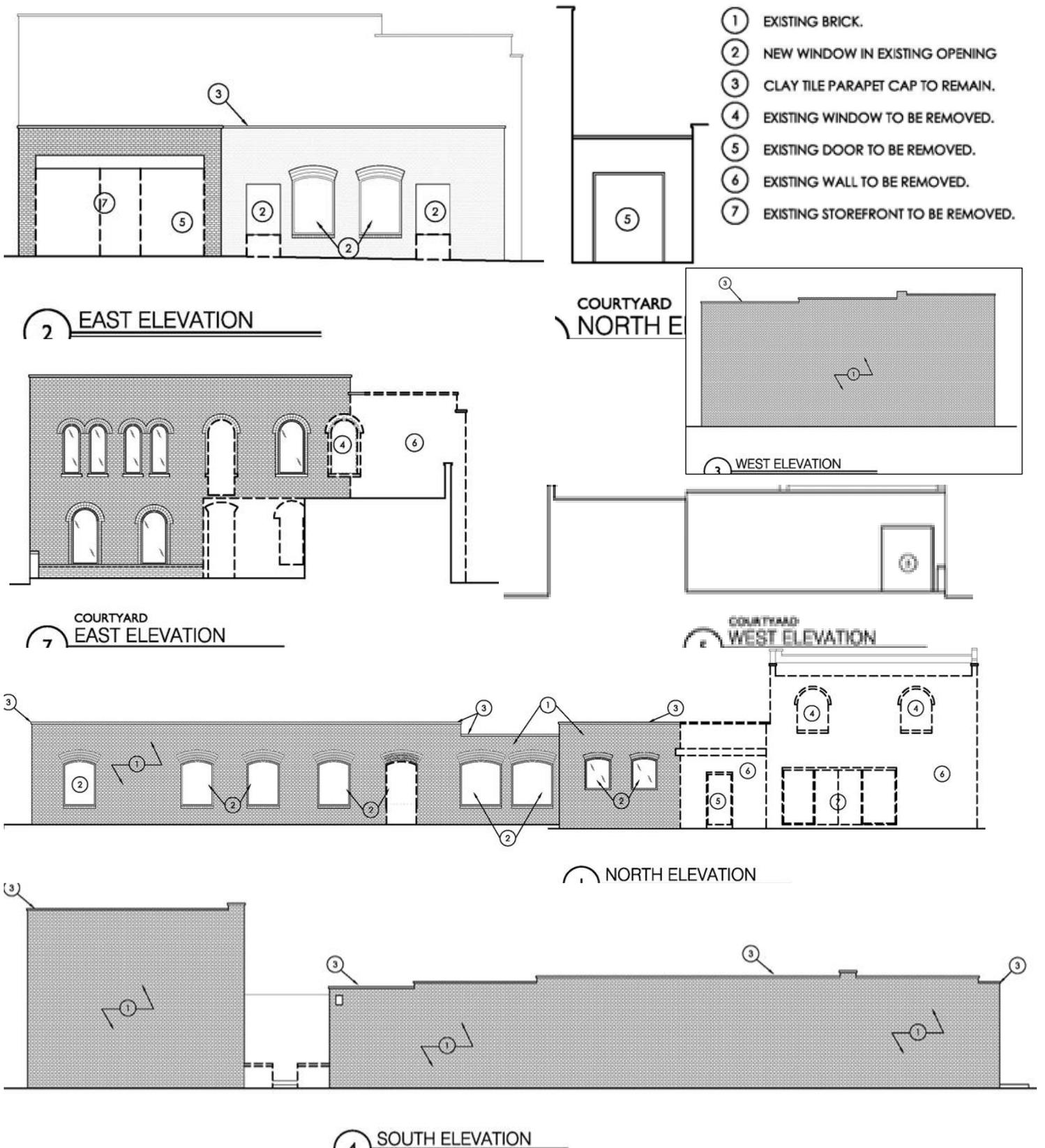




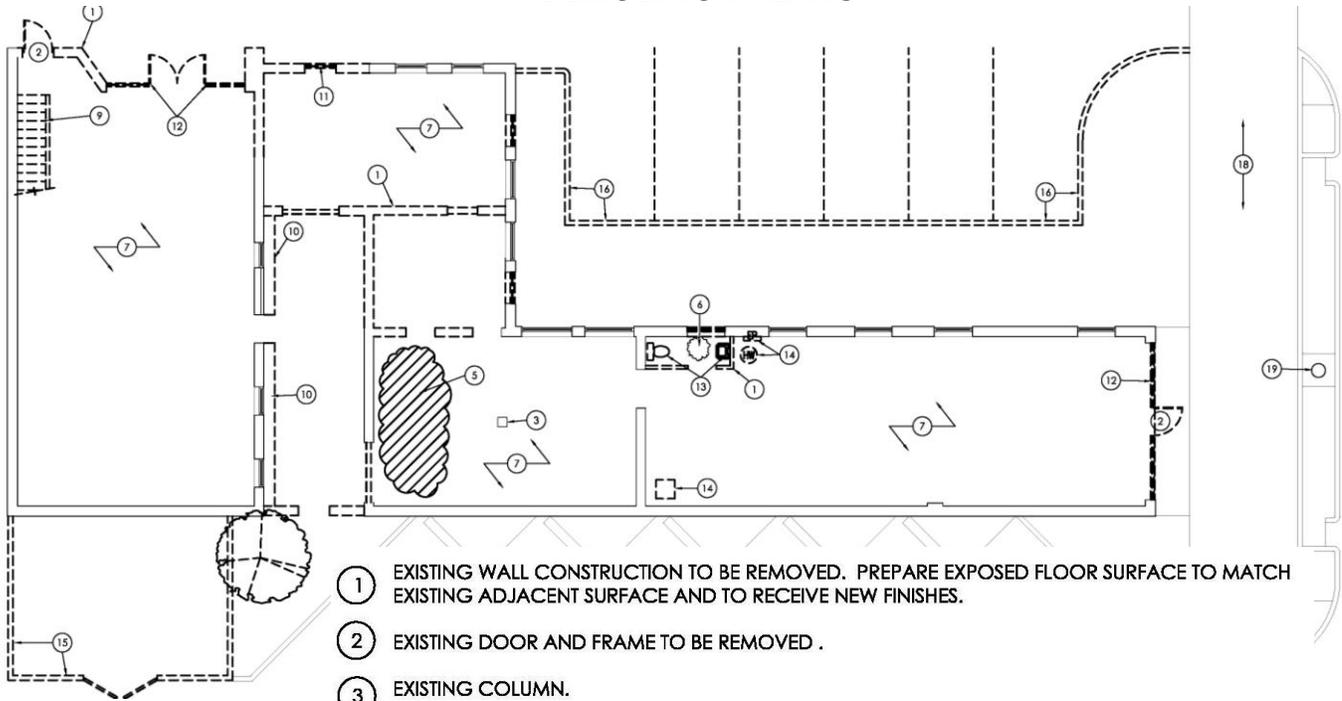
***NEW RENDERINGS***



## EXISTING ELEVATIONS

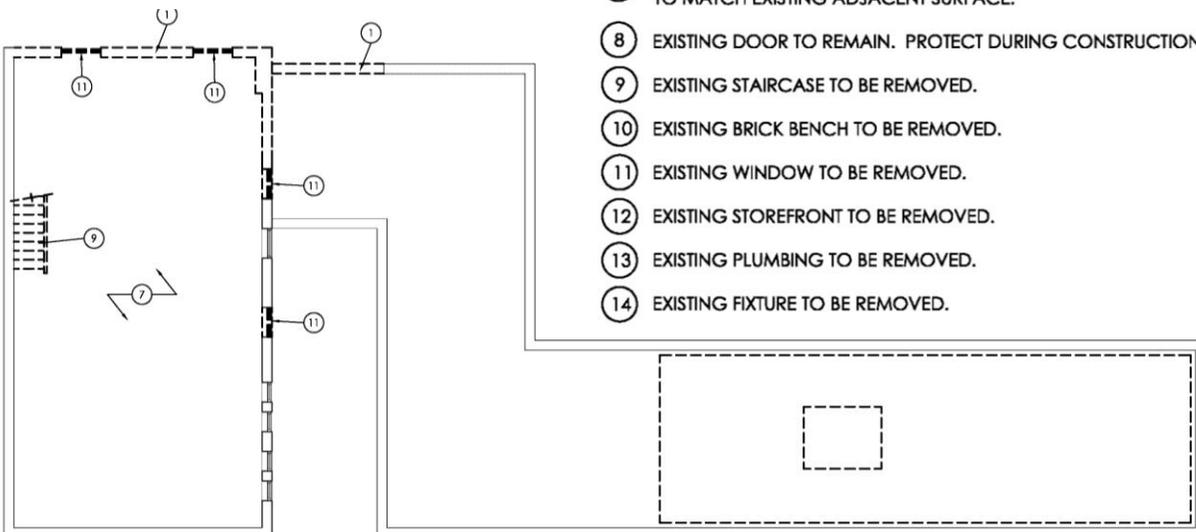


## DEMOLITION PLANS

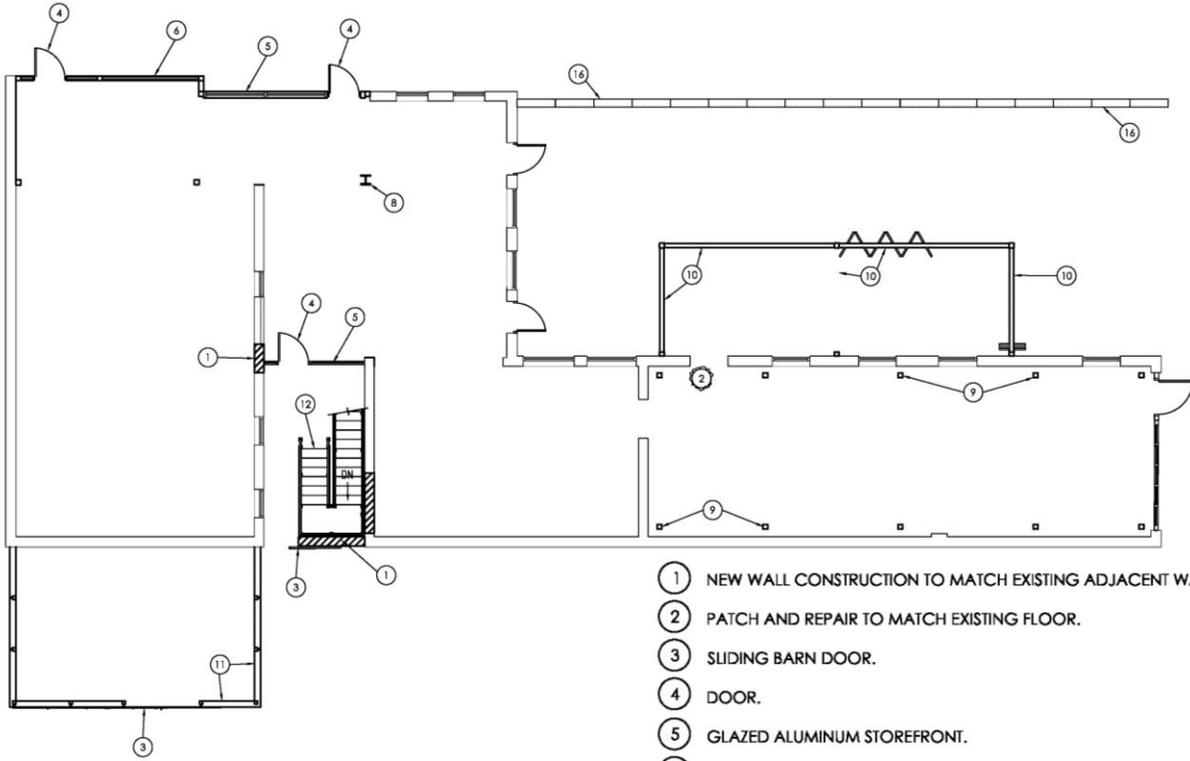


- ① EXISTING WALL CONSTRUCTION TO BE REMOVED. PREPARE EXPOSED FLOOR SURFACE TO MATCH EXISTING ADJACENT SURFACE AND TO RECEIVE NEW FINISHES.
- ② EXISTING DOOR AND FRAME TO BE REMOVED .
- ③ EXISTING COLUMN.
- ④ DEMOLISH EXISTING FLOOR FINISH. PREPARE EXISTING SLAB TO RECEIVE NEW FINISHES. FILL ANY HOLES AND GRIND ANY PROTRUSIONS TO MATCH EXISTING ADJACENT SURFACE.
- ⑤ EXISTING CONCRETE MOUND TO BE REMOVED TO PROVIDE SMOOTH TRANSITION BETWEEN ADJOINING SPACES.
- ⑥ PATCH EXISTING HOLE IN FLOOR WITH NEW CONCRETE TO MATCH ADJACENT EXISTING CONCRETE.
- ⑦ PREPARE EXISTING SLAB TO RECEIVE NEW FINISHES. FILL ANY HOLES AND GRIND ANY PROTRUSIONS TO MATCH EXISTING ADJACENT SURFACE.
- ⑧ EXISTING DOOR TO REMAIN. PROTECT DURING CONSTRUCTION.

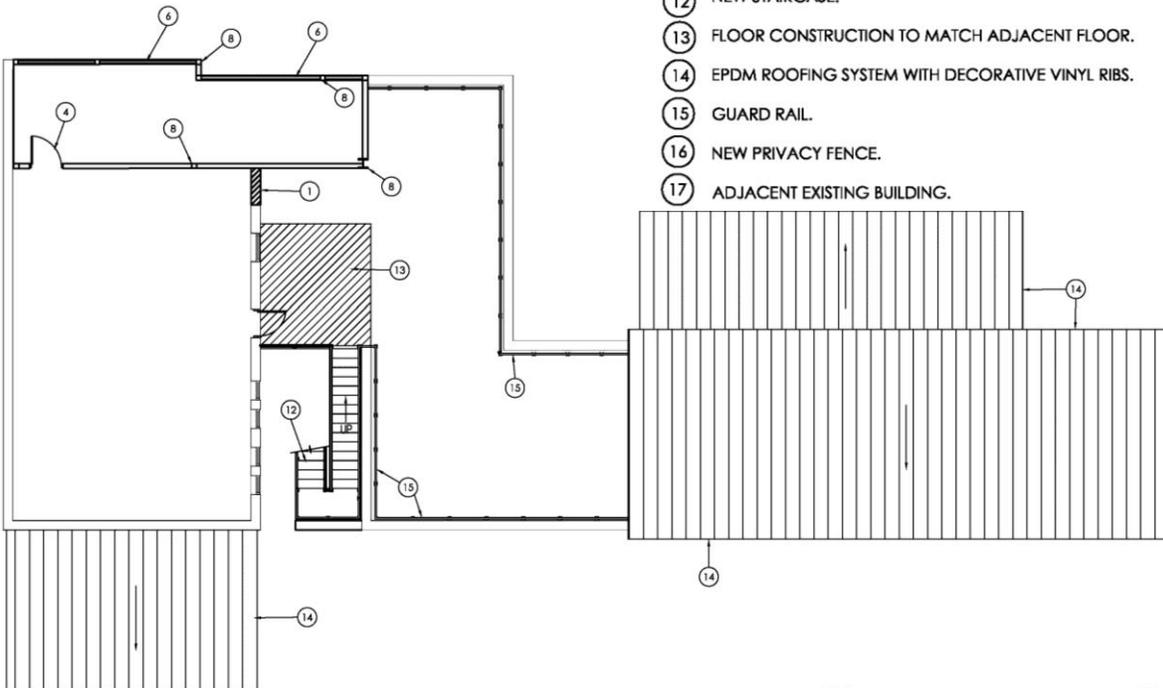
- ⑤ EXISTING CONCRETE MOUND TO BE REMOVED TO PROVIDE SMC ADJOINING SPACES.
- ⑥ PATCH EXISTING HOLE IN FLOOR WITH NEW CONCRETE TO MATC
- ⑦ PREPARE EXISTING SLAB TO RECEIVE NEW FINISHES. FILL ANY HOI TO MATCH EXISTING ADJACENT SURFACE.
- ⑧ EXISTING DOOR TO REMAIN. PROTECT DURING CONSTRUCTION.
- ⑨ EXISTING STAIRCASE TO BE REMOVED.
- ⑩ EXISTING BRICK BENCH TO BE REMOVED.
- ⑪ EXISTING WINDOW TO BE REMOVED.
- ⑫ EXISTING STOREFRONT TO BE REMOVED.
- ⑬ EXISTING PLUMBING TO BE REMOVED.
- ⑭ EXISTING FIXTURE TO BE REMOVED.



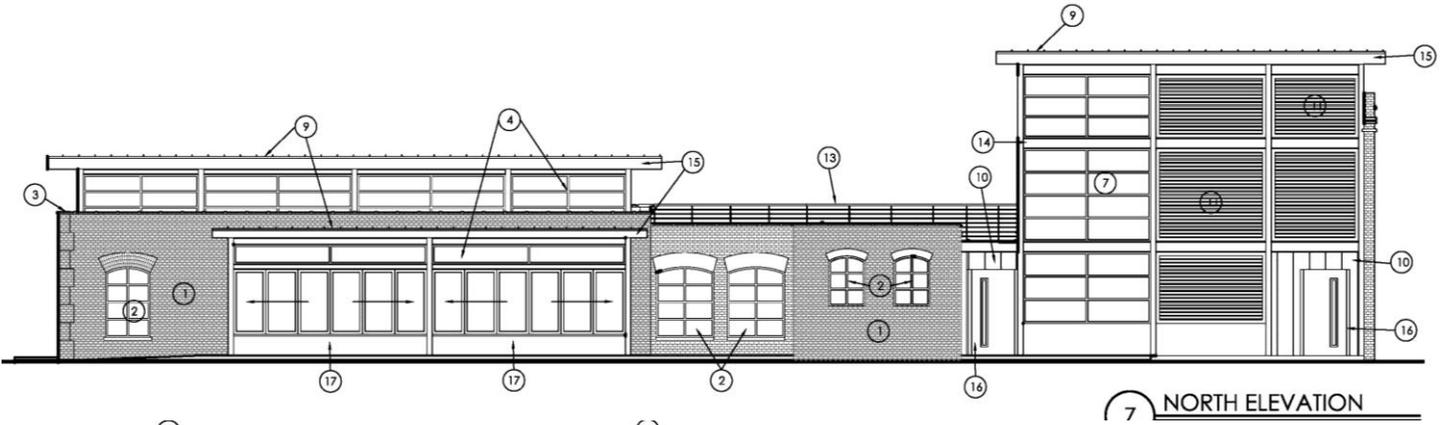
## NEW CONSTRUCTION NOTES



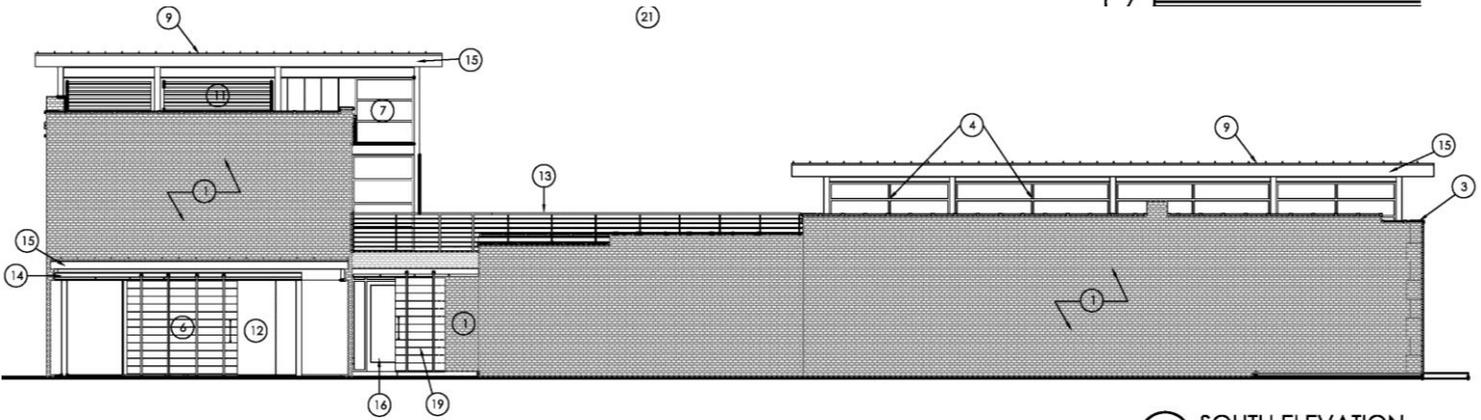
- ① NEW WALL CONSTRUCTION TO MATCH EXISTING ADJACENT WALL.
- ② PATCH AND REPAIR TO MATCH EXISTING FLOOR.
- ③ SLIDING BARN DOOR.
- ④ DOOR.
- ⑤ GLAZED ALUMINUM STOREFRONT.
- ⑥ METAL LOUVER WALL.
- ⑦ STEEL BEAM.
- ⑧ STEEL COLUMN.
- ⑨ STEEL COLUMN TO CLERESTORY WINDOW AND ROOFING.
- ⑩ NANAWALL PATIO ENCLOSURE.
- ⑪ WOOD CLAD DUMPSTER AND MECHANICAL ENCLOSURE.
- ⑫ NEW STAIRCASE.
- ⑬ FLOOR CONSTRUCTION TO MATCH ADJACENT FLOOR.
- ⑭ EPDM ROOFING SYSTEM WITH DECORATIVE VINYL RIBS.
- ⑮ GUARD RAIL.
- ⑯ NEW PRIVACY FENCE.
- ⑰ ADJACENT EXISTING BUILDING.



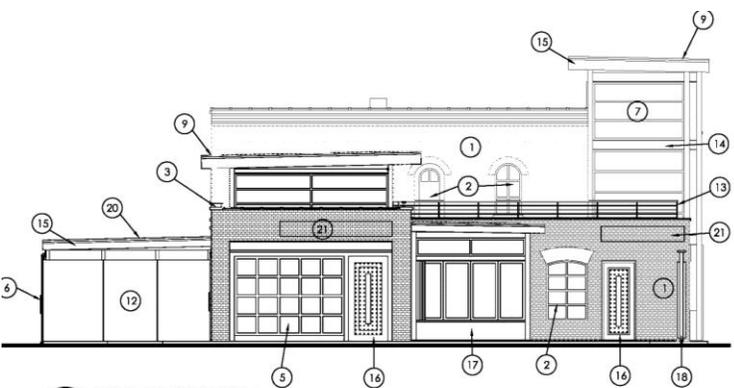
# NEW ELEVATION DRAWINGS



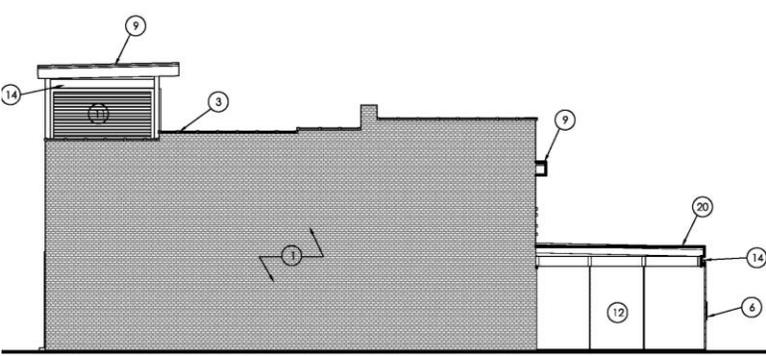
7 NORTH ELEVATION



6 SOUTH ELEVATION

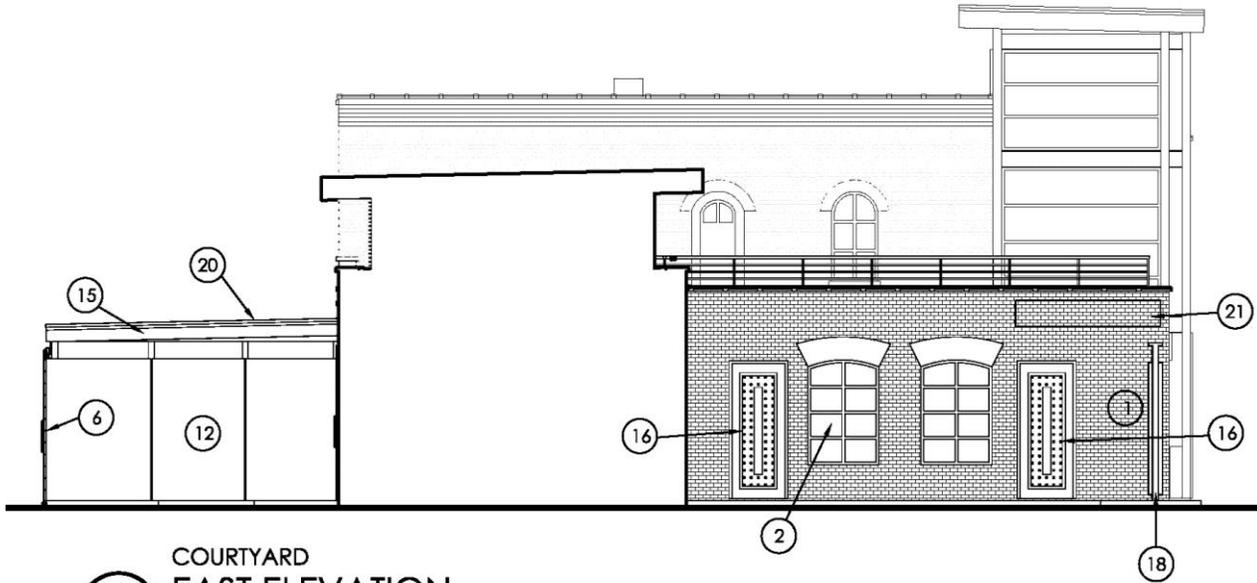


4 EAST ELEVATION  
SCALE: 1/8"=1'-0"

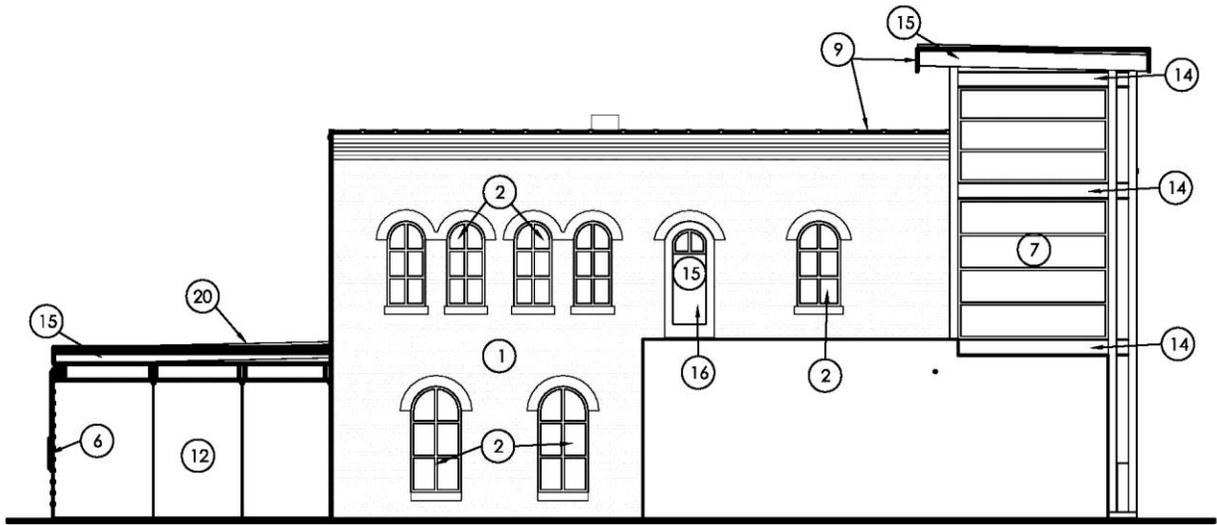


1 WEST ELEVATION

- 1 EXISTING BRICK .
- 2 NEW WINDOW IN EXISTING OPENING.
- 3 CLAY TILE PARAPET CAP .
- 4 CLERESTORY WINDOWS.
- 5 GARAGE DOOR.
- 6 SLIDING BARN DOOR.
- 7 GLAZED ALUMINUM STOREFRONT.
- 8 NANAWALL PATIO ENCLOSURE.
- 9 EPDM ROOFING SYSTEM WITH DECORATIVE VINYL RIBS
- 10 METAL PANEL TO MATCH STANDING SEAM.
- 11 METAL LOUVERS .
- 12 WOOD CLAD DUMPSTER ENCLOSURE.
- 13 RAILING.
- 14 STEEL BEAM .
- 15 WOOD TRIM.
- 16 NEW DOOR.
- 17 WOOD SIDING.
- 18 PRIVACY FENCE.
- 19 FIXED SLIDING BARN DOOR.
- 20 STANDING SEAM METAL ROOFING.
- 21 NEW SIGNAGE.



**3** COURTYARD EAST ELEVATION



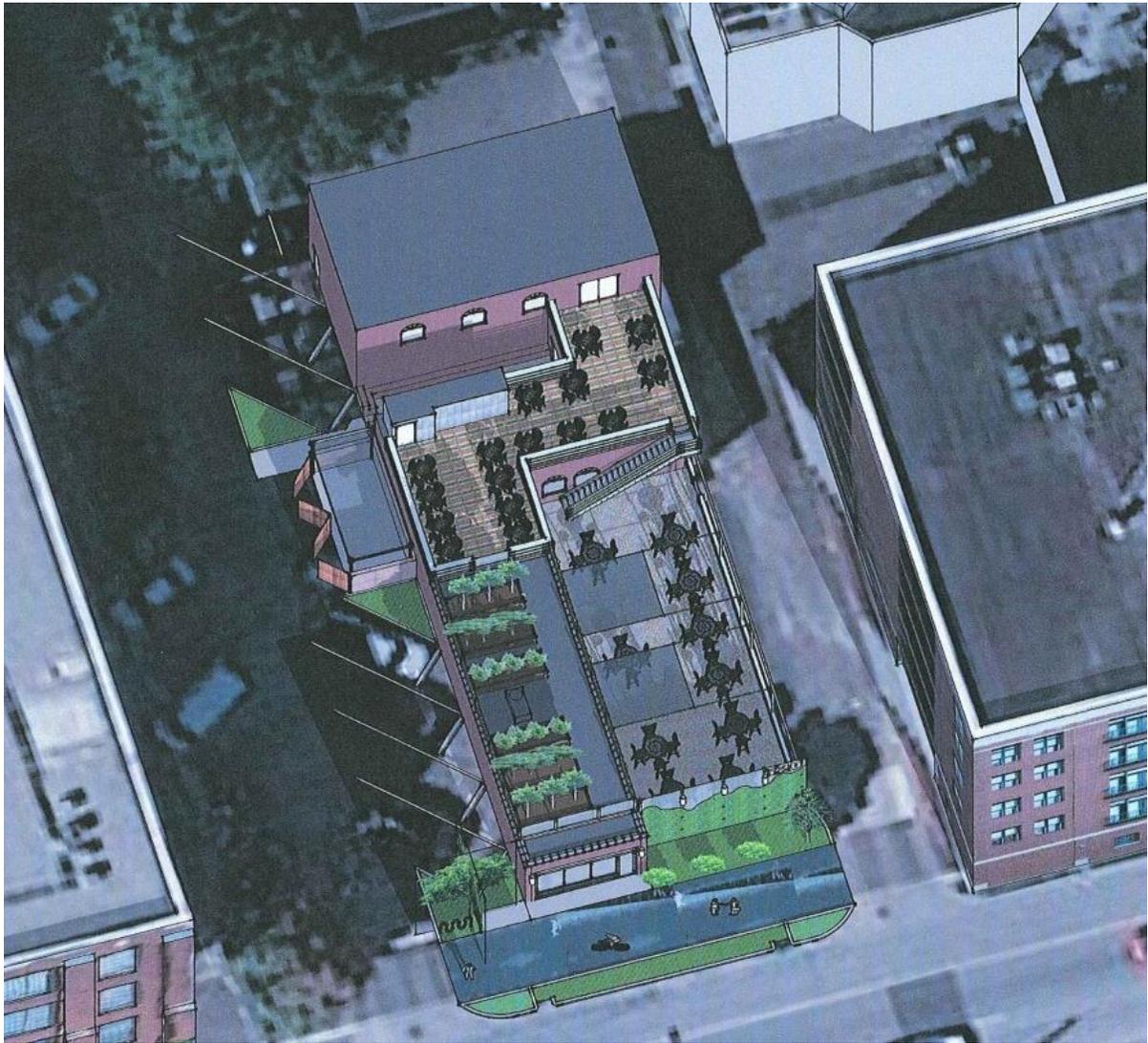
**2** COURTYARD EAST ELEVATION

- ① EXISTING BRICK .
- ② NEW WINDOW IN EXISTING OPENING.
- ③ CLAY TILE PARAPET CAP .
- ④ CLERESTORY WINDOWS.
- ⑤ GARAGE DOOR.
- ⑥ SLIDING BARN DOOR.
- ⑦ GLAZED ALUMINUM STOREFRONT.
- ⑧ NANAWALL PATIO ENCLOSURE.
- ⑨ EPDM ROOFING SYSTEM WITH DECORATIVE VINYL RIBS
- ⑩ METAL PANEL TO MATCH STANDING SEAM.
- ⑪ METAL LOUVERS .
- ⑫ WOOD CLAD DUMPSTER ENCLOSURE.
- ⑬ RAILING.
- ⑭ STEEL BEAM .
- ⑮ WOOD TRIM.
- ⑯ NEW DOOR.
- ⑰ WOOD SIDING.
- ⑱ PRIVACY FENCE.
- ⑲ FIXED SLIDING BARN DOOR.
- ⑳ STANDING SEAM METAL ROOFING.
- ㉑ NEW SIGNAGE.



**PREVIOUSLY APPROVED RENDERINGS**





<b>COA #</b> <b>2015-COA-299 (LS)</b> <b>2015-VHP-028</b>	<b>INDIANAPOLIS</b> <b>HISTORIC PRESERVATION COMMISSION</b> <b>STAFF REPORT</b>	<b>Hearing Date</b> <b>AUG. 19, 2015</b>
<b>505-07 N COLLEGE AVE</b> <b>LOCKERBIE SQUARE</b>		Continued from:  August 5, 2015
<b>Applicant &amp; mailing address:</b>	<b>BRENT MATHER FOR ZINK ARCHITECTURE AND DEVELOPMENT</b> 1030 Central Ave Indianapolis, IN 46202	Center Township Council District: 9 Joseph Simpson
<b>Owner:</b>	Will Zink, Zink Architecture and Development 28 E. 96 <sup>th</sup> Street, Suite 160 Indianapolis, IN 46240	
<b>COMBINED CASE</b>		
<b>IHPC COA: 2015-COA-299 (LS)</b>	<ul style="list-style-type: none"> <li>• Restore building including front bays, main entry, portico, decorative cornice decorative medallions.</li> <li>• Replace windows and roof</li> <li>• Install new gutters and downspouts</li> <li>• Reconstruct balconies on east elevation,</li> <li>• Install hardie panel at rear balconies and light well</li> <li>• Add new privacy fence</li> <li>• Tuckpoint and perform masonry repairs</li> <li>• Install new doors</li> <li>• Repair concrete and rebuild foundation at rear balconies.</li> <li>• Variance to allow reduced setback at rear elevation.</li> </ul>	
<b>VARIANCE: 2015-VHP-028</b>	Variance of Development Standards of the CBD-2 Zoning Ordinance to allow less rear setback than required (at least 10 feet required if any is provided.)	
<b>STAFF RECOMMENDATION: Approval</b>		
<b>STAFF COMMENTS</b>		

**Background**

The building was constructed c. 1908 as the Noble Flats Apartments and with six apartments. The major architectural features of its front façade are two oriel windows on the second and third floors, a front entrance with sidelights, protected by a pedimented portico supported by two classical columns and a simple metal cornice stretching across the façade near the top.

In recent years, it has been vacant and suffering from neglect. The previous owner boarded the windows and accrued a long list of building code violations. It also appears that a previous owner removed all the windows. Upon inspection, staff discovered no windows behind the boards or stored in the building. No approval was ever granted to remove them, but they were removed before the present owner acquired the building.

The new owner intends to rehabilitate the building. I will continue to have six apartments. The property includes the parking lot adjacent to the north with 9 parking spaces, which exceeds the zoning requirement for this building.

### **Improvements to the Building**

IHPC policies permit most of the repairs being requested to be approved by staff without a hearing. Therefore, the details of those standard repairs are not described in this report, but will be handled as staff typically handles them.

Major aspects of the rehabilitation include:

- Rebuilding the deteriorated oriel bays on the front of the building due to their deteriorated condition. As much of the original material will be salvaged and reused as possible. Any rebuilt portions will match the original exactly.
- The roof will remain flat and new gutters will be installed. The gutters and downspouts will be painted to blend into the building.
- There are wood balconies on the rear, joined by wood stairs. These were added at some time and are beyond repair. New wood balconies are proposed, but they will not be joined by stairs. The handrails will be more appropriately designed than the present “California Deck” rails on the present balconies. The balconies will be slightly closer to the adjacent property in order to meet code. For privacy, the balconies will have hardie panel privacy walls between them and the light well adjacent to the stairs will be infilled with the same hardie panel material. None of this is visible from College Ave.
- All new doors and windows will be wood and will be made to match the originals. (The drawings do not accurately depict an exact match because the architect did not have access to photos.)
- Concrete and masonry repairs will also be done to match the existing.
- The fencing will be installed at the sides of the rear stairs for security and will be wood.

### **Variance of Development Standards**

The applicant is asking for a Variance of Development Standards to allow less than a 10 foot setback. The CBD-2 Zoning Ordinance allows no setback, but if any is provided, it must be at least 10 feet. This is to allow enough room to get between buildings for maintenance. In this case, the building itself is not within the setback, only the open balconies are in the setback. The edge of the balconies are about 5 feet from the property line. Because they are open and can be accessed underneath and on the sides, maintenance should not be problematic.

### **The Lockerbie Square Historic Area Plan**

The Plan states that new windows should match the originals. In this case, it is believed that the windows visible in the 2009 photograph are probably the original wood windows. The applicant intends to find replacement wood windows to match as closely as possible.

## **STAFF RECOMMENDED MOTIONS**

**2015-COA-299 (LS):**

**To approve a Certificate of Appropriateness to:**

- 1. Restore building including front bays, main entry, portico, decorative cornice and decorative medallions.**
- 2. Replace windows and roof**
- 3. Install new gutters and downspouts**
- 4. Reconstruct balconies on rear (east) elevation,**
- 5. Install hardie panel at rear balconies and light well**
- 6. Add new privacy fence**
- 7. Tuckpoint and perform masonry repairs**
- 8. Install new doors**

9. Repair concrete and rebuild foundation at rear balconies.

10. Variance to allow reduced setback at rear elevation.

As per submitted documentation and following stipulations:

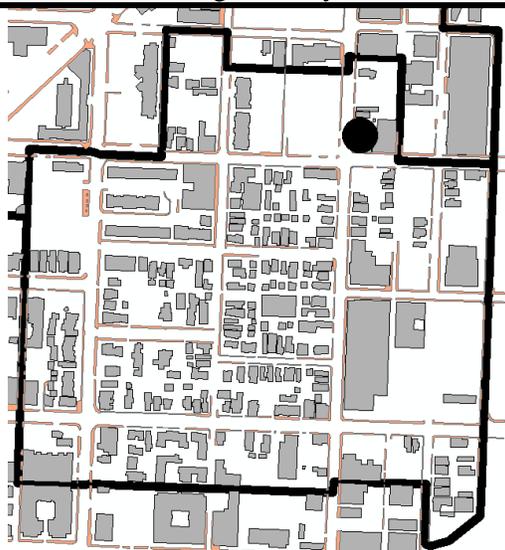
**DCE: PERMITS MAY NOT BE ISSUED until stipulations number 1 and 2 are fulfilled.**

1. Construction must not commence prior to approval by the IHPC staff of final construction drawings. *Approved \_\_\_\_\_ Date \_\_\_\_\_*
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved \_\_\_\_\_ Date \_\_\_\_\_*
3. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work. Glass shall be clear; any addition of beveling, frosting, etching, coming, or stained glass is NOT permitted under this approval.
4. All replacement materials shall match the original materials for which they replace. All new materials shall have the same color, surface texture, and method of construction.
5. All original materials on the historic building shall be restored and retained where possible.
6. New windows must fit the existing openings; altering existing openings is NOT permitted unless indicated on the approved plans.
7. All new, repaired, and/or rebuilt elements shall replicate the documented historic appearance of the windows per IHPC photographs.
8. A cut sheet of all new windows and doors shall be submitted to IHPC staff and approved prior to installation. *Approved \_\_\_\_\_ Date \_\_\_\_\_*
9. Any deviation from this approach shall be approved by IHPC staff prior to construction.
10. Any knots or surface imperfections shall be filled to achieve a smooth appearance, sanded and primed. Rough-sawn finishes are not permitted.
11. No alterations to roof size, shape, or pitch are permitted with this approval.
12. Mortar and masonry replacement samples must be approved by IHPC staff prior to commencement of work. *Approved \_\_\_\_\_ Date \_\_\_\_\_*

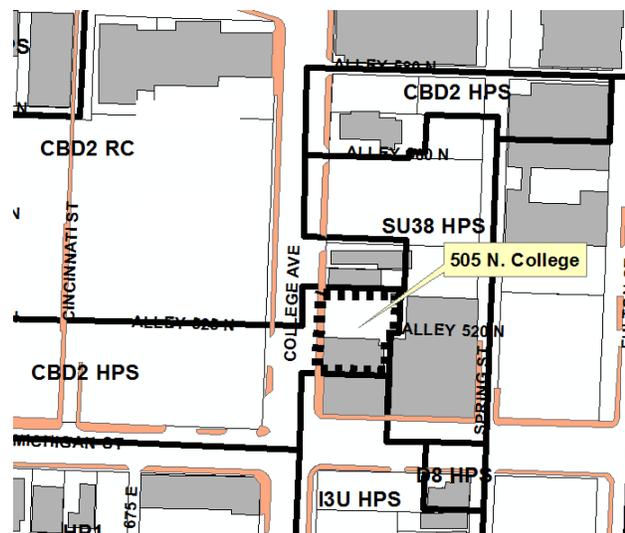
2015-VHP-028:

**To approve a Variance of Development Standards of the CBD-2 Zoning Ordinance to allow less rear setback than required (at least 10 feet required if any is provided.)**

Staff Reviewer: Meg Purnsley



**Location in Lockerbie Square**

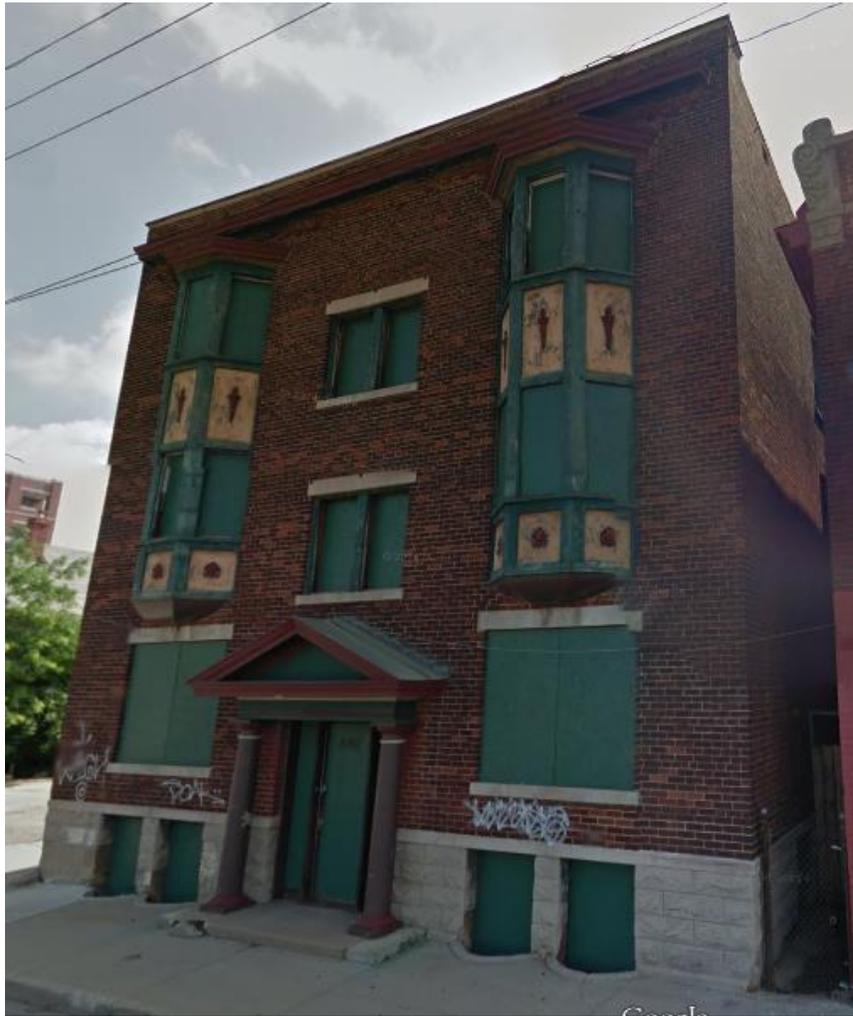


**Zoning Map**





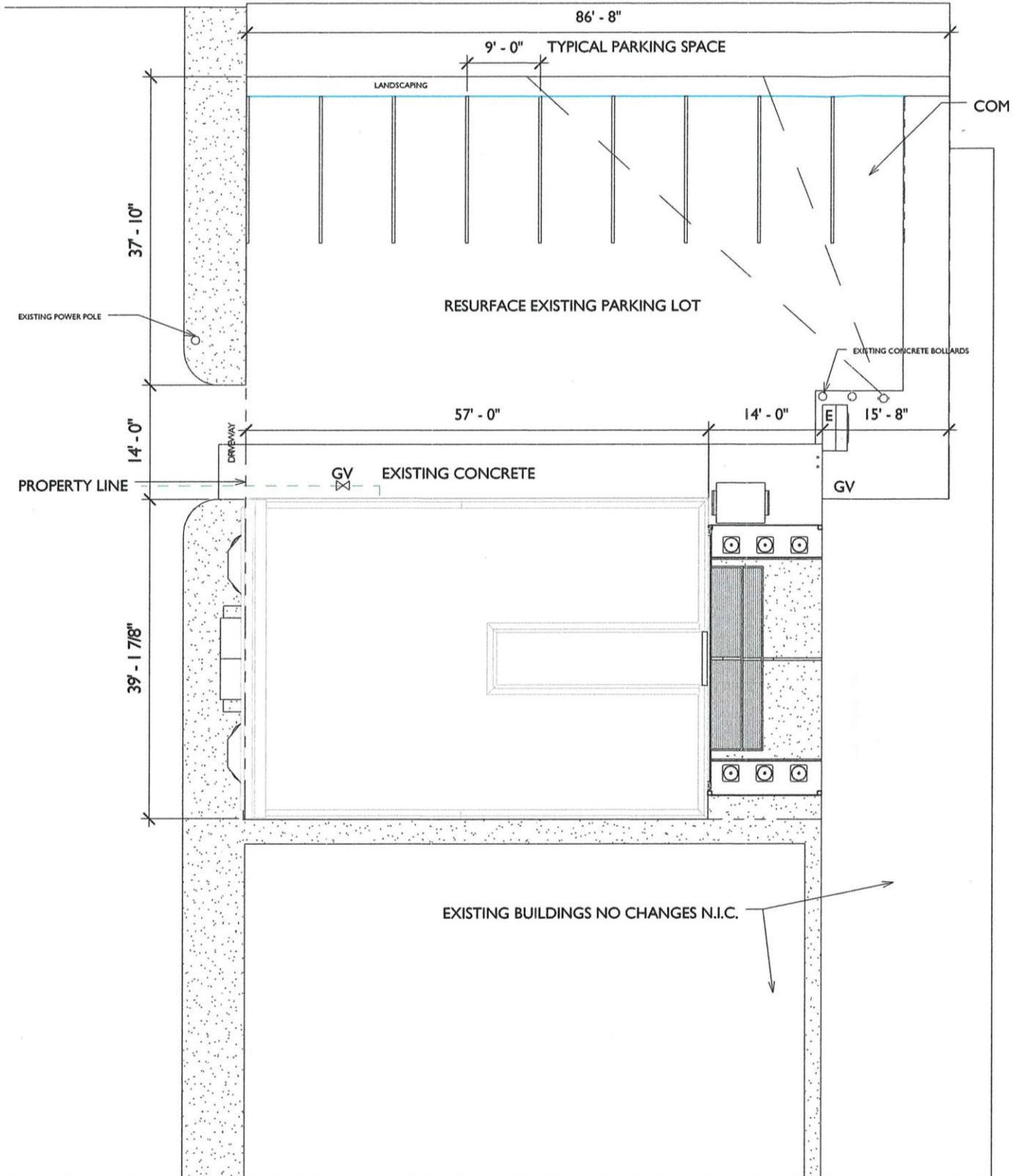
Front of building (2009)



**Front elevation today**

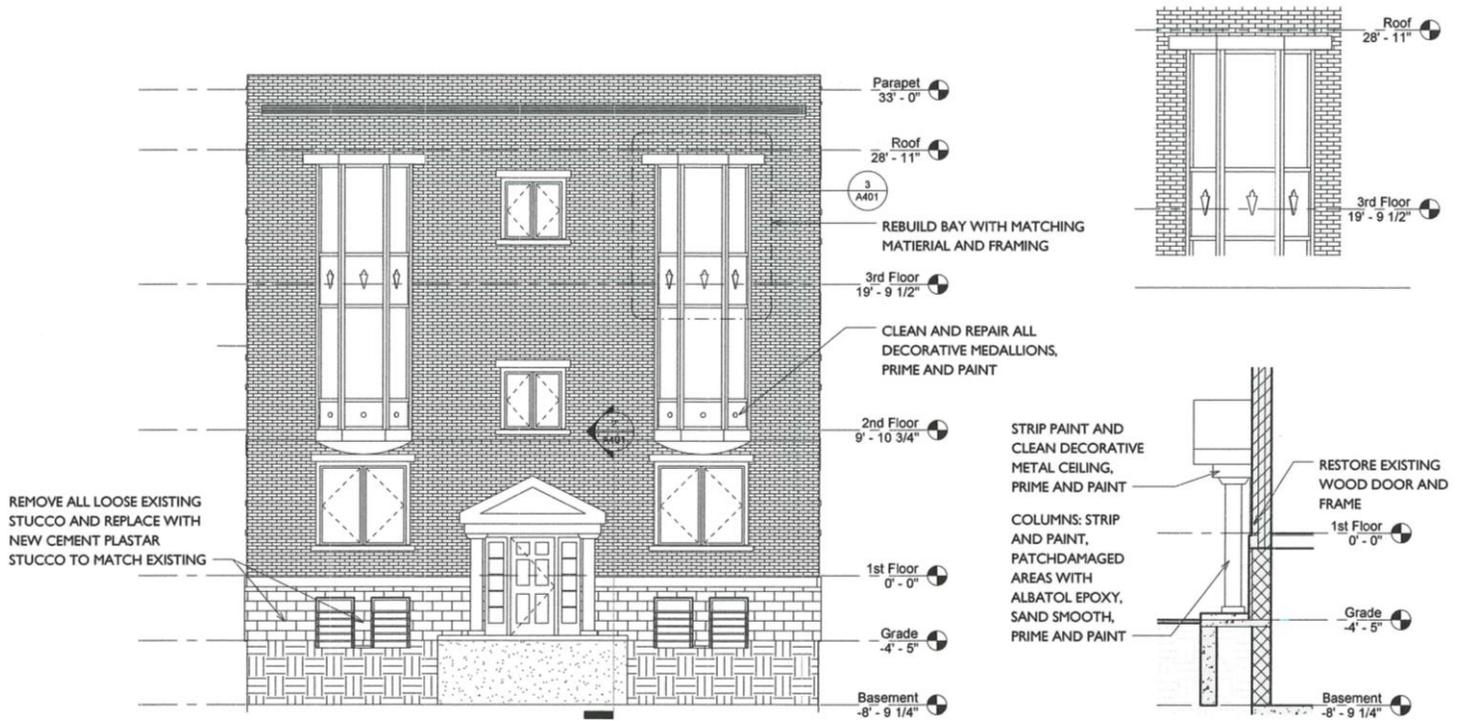


**North and rear elevation today**



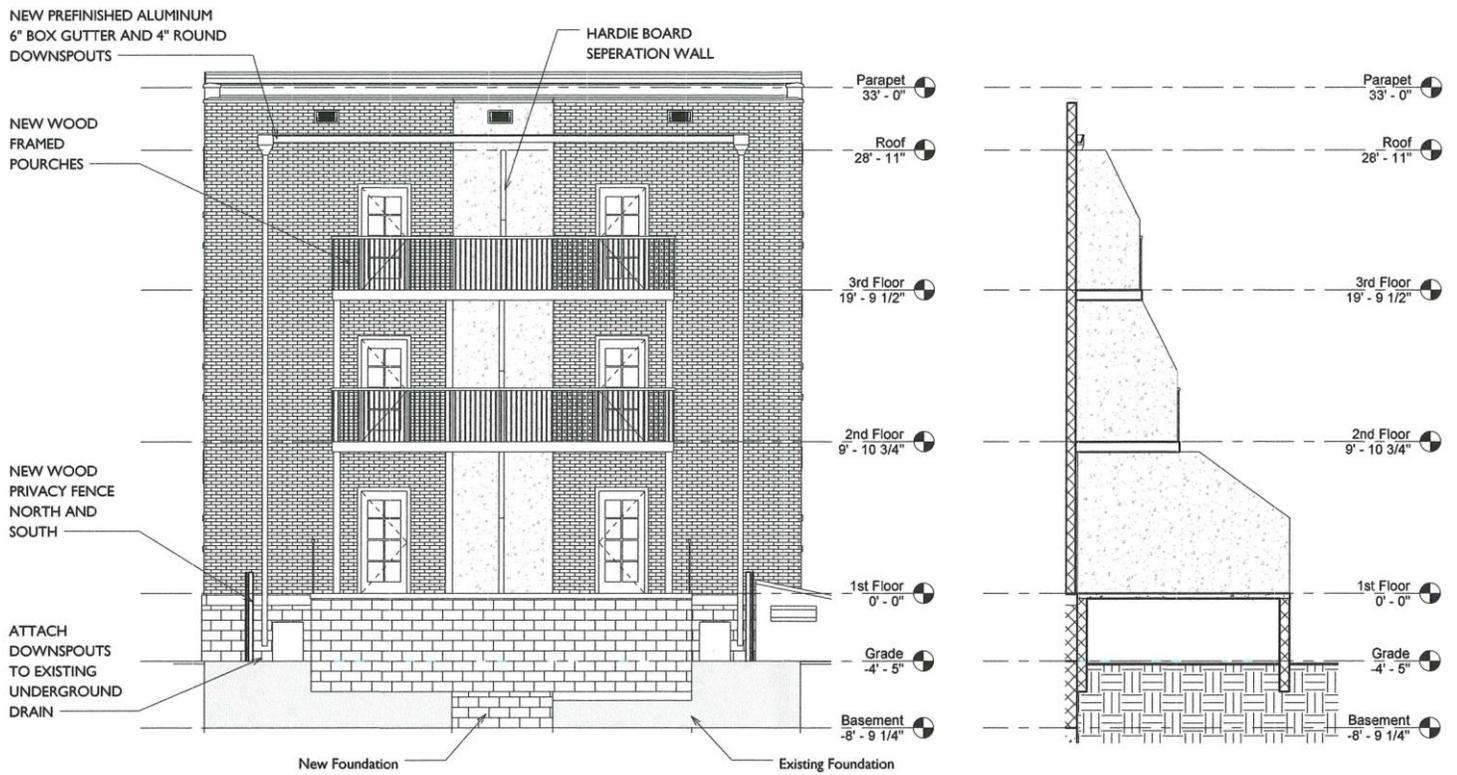
# I Site Plan

Scale: 3/32" = 1'-0"



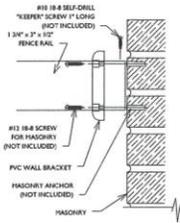
**2 West Elevation**

**1 Porch Section**



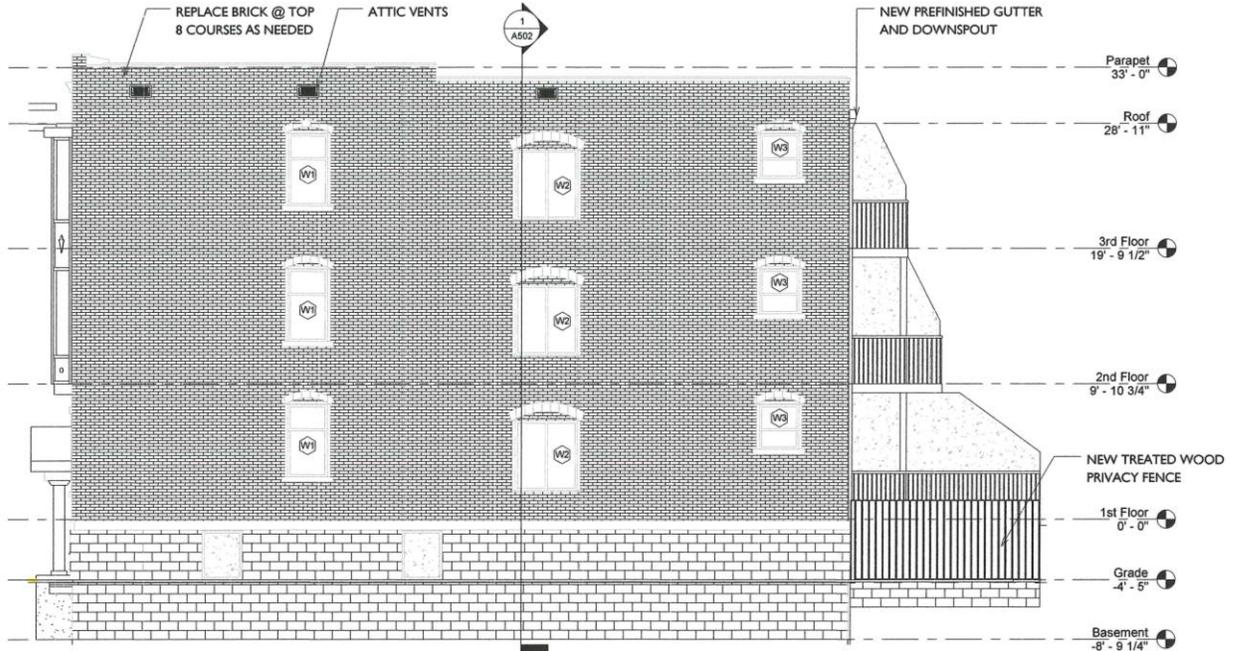
**1 East Elevation**

**Elevation Symbols**



**Elevation Symbols**

**FENCE CONNECTION TO MASONRY USING 1 3/4 x 1 1/2 RAIL**



**1 South Elevation**

TYPICAL ALL ELEVATIONS ASSUME 100% TUCKPOINTING TOP 8 TO 10 COURSES OF PARAPET TO BE INSPECTED AND ALL DETERIORATED MASONRY REPLACED OR RESET



**1 North Elevation**

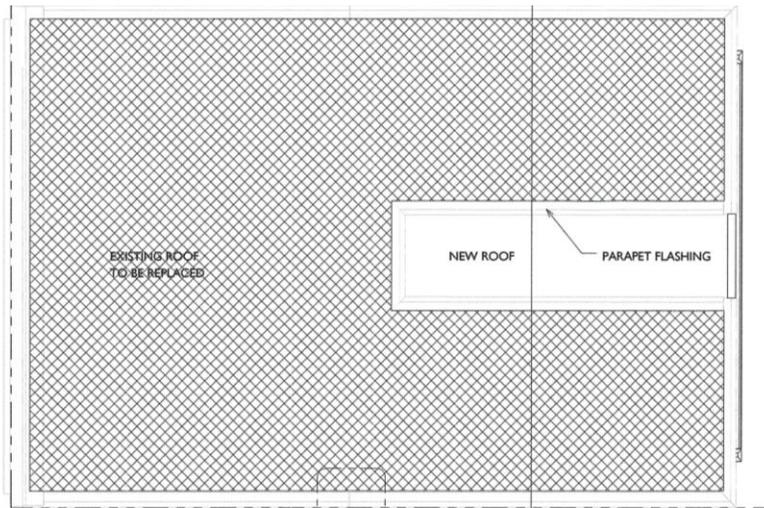
Scale: 3/16" = 1'-0"

REPAIR STONE BY SQUARING OFF BROKEN AREA AND PREPARE A STONE "DUTCHMAN" CUT FROM MATCHING STONE

REMOVE GRAFFITI PAINT

REPAIR CONCRETE WITH PATCHING EPOXY-ABATRON INC. OR EQUAL

RECEIVED

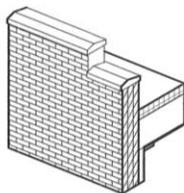


**Roof Plan General Notes**

1. STRIP ALL EXISTING ROOFING DOWN TO DECK
2. PEPLACE DETERIORATED WOOD DECK, AMKE ALLOWENCE FOR 50% REPLACEMENT. PROVIDE UNIT PRICE FOR ADD/REDUCT
3. INSPECT ROOF JOISTS AND REPLACE ALL DRY ROTTED MEMBERS ALLOWNCE PRO 25% REPLACEMENT. PROVIDEUNIT PRICE FOR ADD/REDUCT OF QUANTITIES
4. COVER ROOF WITH MEMBRANE MANUFACTURE RECOVERING BOARD
5. INSTALL "SOPREMA" OR APPROVED EQUAL MEMBRANE ROOFING
6. NEW ROOF AREA SIMILAR

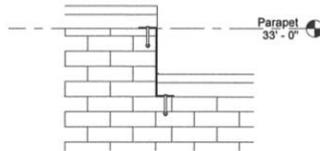
**5 Roof Plan**

Scale: 3/16" = 1'-0"



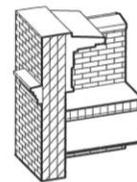
**4 Parrapet Iso**

Scale: 3/16" = 1'-0"



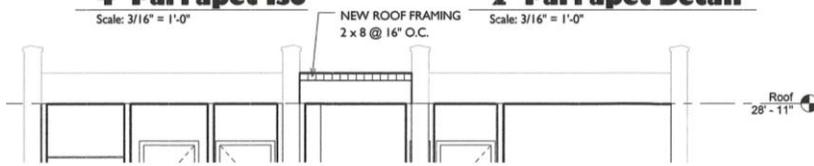
**2 Parrapet Detail**

Scale: 3/16" = 1'-0"



**1 Parrapet Cornice Iso**

Scale: 3/16" = 1'-0"

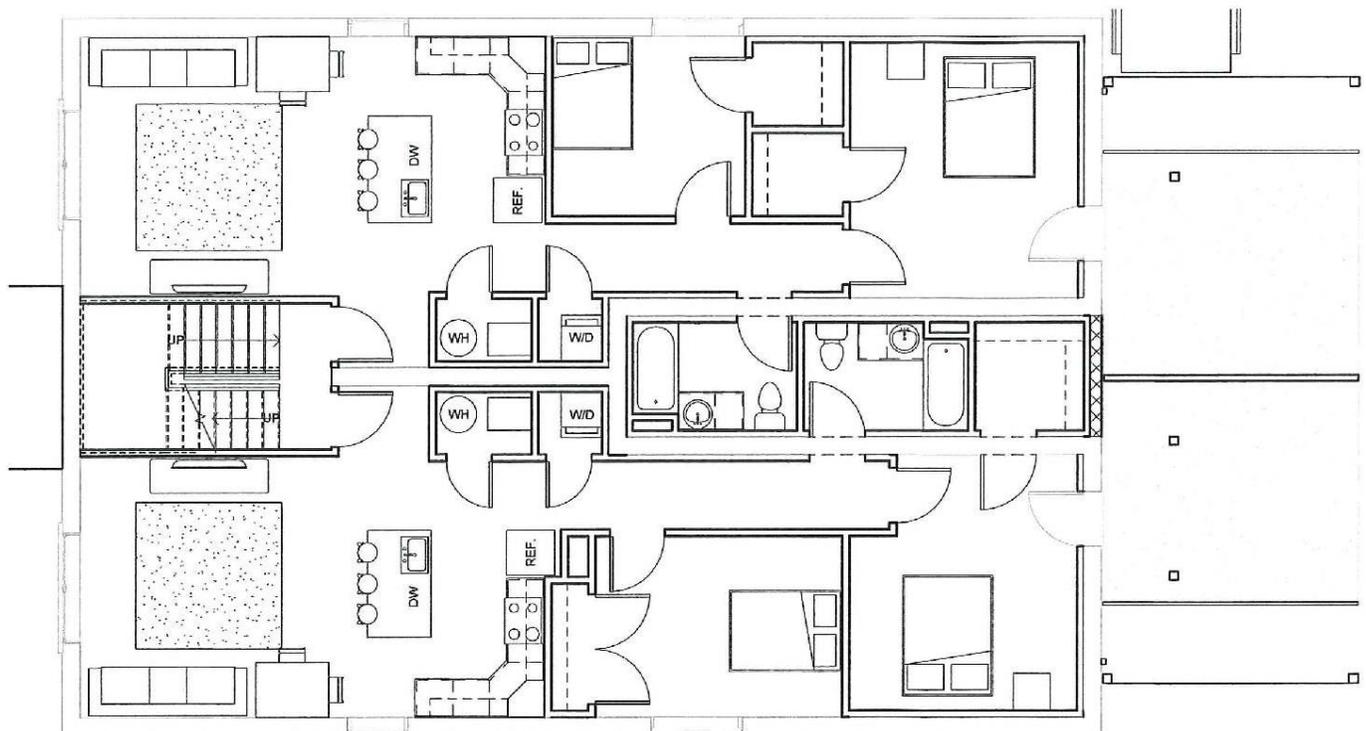


**3 Roof Section**

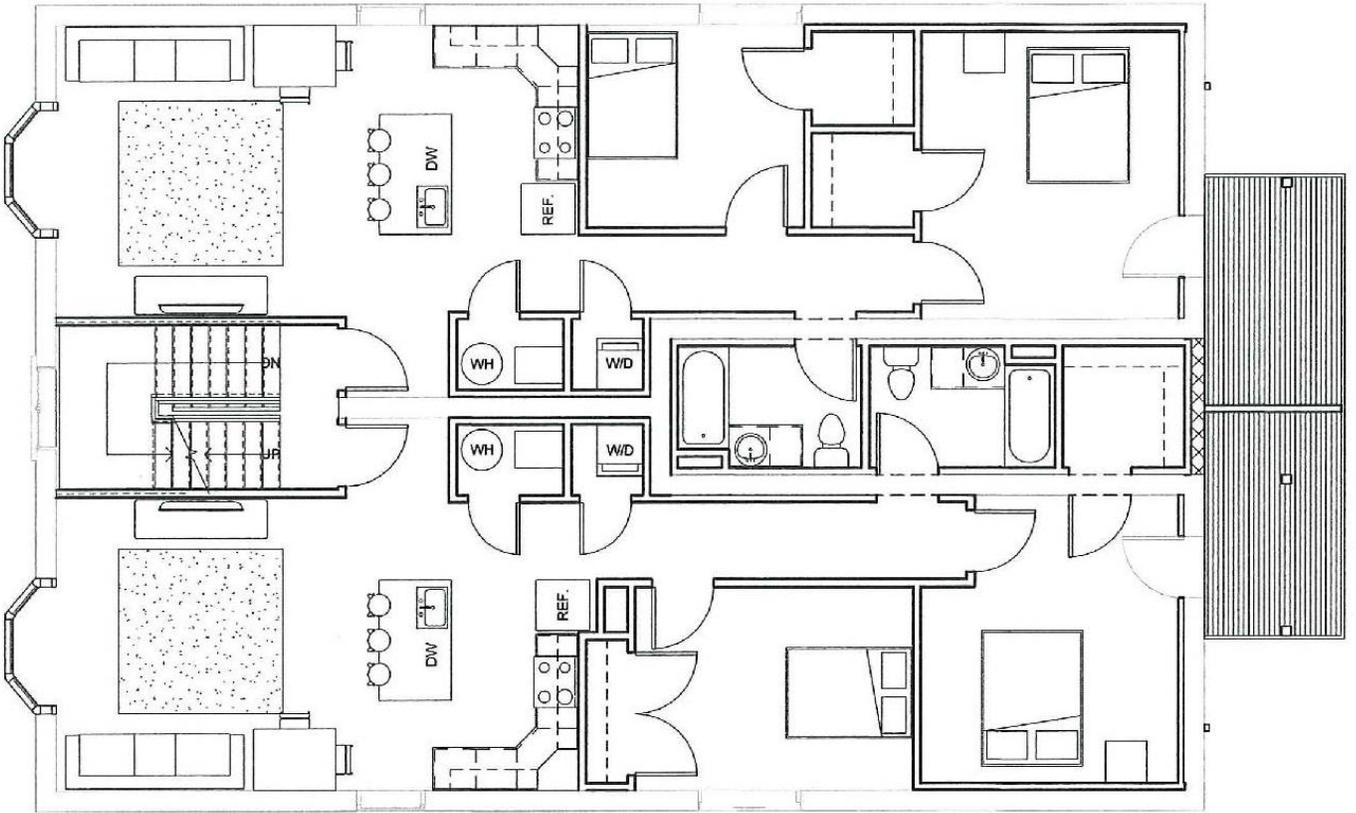
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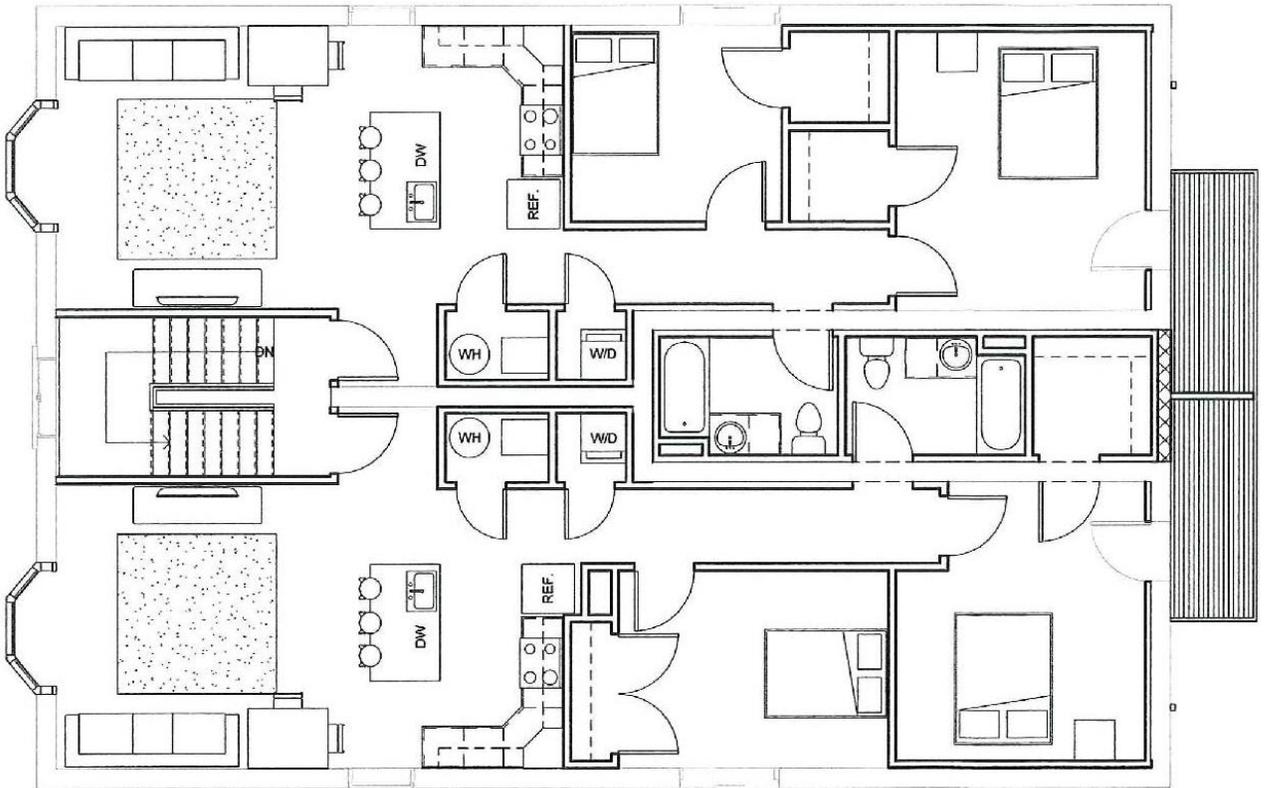
JUL 02 2015



**1 First Floor Plan**



**1 Second Floor Plan**



**1 Third Floor Plan**

<b>COA # 2015-COA-304 (FS) 2015-VHP-031</b>	<b>INDIANAPOLIS HISTORIC PRESERVATION COMMISSION STAFF REPORT</b>	<b>Hearing Date AUG. 19, 2015</b>
<b>1110 S. SHELBY STREET FOUNTAIN SQUARE</b>		<i>Continued from: August 5, 2015</i>
<b>Applicant &amp; mailing address:</b>	<b>DAVID KINGEN, NDZA, INC</b> 618 E Market Street Indianapolis, IN 46202	Center Twp. Council District: 15 Jeff Miller
<b>Owner:</b>	PS Ventures, LLC % Bryce Caldwell PO Box 2227 Indianapolis, IN 46206	
<b>COMBINED CASE</b>		
<b>IHPC COA:</b>	<b>2015-COA-304 (FS)</b>	<ul style="list-style-type: none"> <li>• Install outdoor storage container</li> <li>• Install signage</li> <li>• Variances</li> </ul>
<b>VARIANCE:</b>	<b>2015-VHP-031</b>	<ul style="list-style-type: none"> <li>• Variance of Development Standards of the C-4 Zoning Ordinance to allow outdoor storage container</li> <li>• Variance of Development Standards of the Commercial Sign Ordinance to allow signage to exceed the square footage permitted (15% of the wall area.)</li> </ul>
<b>STAFF RECOMMENDATION: Approval</b>		

<b>STAFF COMMENTS</b>
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**Background**

The site consists of three lots. The north lot contains a c.1900 historic commercial structure. The other two lots are used for parking for the building. A COA was granted in May and June for work presently under way for a restaurant bar going into the building. The plans submitted for the earlier COA included the outdoor storage container, but it was not included in that approval because it needs a variance for which the applicant had not applied.

**Signage**

The proposed signage is a small sign that reads “Pioneer” plus a large starburst graphic. The starburst graphic is the portion of the sign that sets the size larger than allowed, requiring the requested variance. The design is simple aluminum letters and aluminum circles mounted into the mortar of the building. Although the sign is large, staff does not believe the design of the sign is inappropriate, particularly since the wall that it is on would have originally had another building abutting it. Part of the graphic will be partially concealed by a recently approved pergola as well for an outdoor patio area.

**Outdoor Storage Container**

The applicant is asking to have a metal shipping container located at the back of the building for the purpose of expanded kitchen space for the restaurant. The C-4 zoning ordinance does not allow outdoor storage on the site and the shipping container is considered to be storage on the outside of the building. The container is to be used for storage of materials and supplies. The container is to be a standard shipping container of which the applicant will provide a photo.

## **Variations**

The applicant is requesting two variations:

1. Variance of Development Standards to allow an outdoor storage container on the site. The C-4 zoning ordinance does not allow outdoor storage on the site and the proposed shipping container is considered to be storage on the outside of the building. Staff is not opposed to the applicant having the container behind the building and properly screened, which staff believes it will be since it will be tucked underneath the balcony on the rear of the building. It is not attached to the building which is preferred by staff in order to not negatively impact the structure.
2. Variance of the Sign Ordinance to allow a sign on the side elevation to exceed the maximum dimensions allowed (15% of the wall area.) The proposed sign is large, but open in style and is just slightly over the allowed 15% wall area limit. The openness of the sign design helps to visually minimize the appearance of the sign and not make it look quite as large as it measures. In any case, large signs in Fountain Square were not unusual historically and having a larger sign on this building is not inappropriate and should not cause any negative impact on the surrounding area. The Fountain Square Theatre Building directly across the street contains large signage and is very much in keeping with the proposed sign.

## **Fountain Square Plan**

The Plan states the following:

“Signage should be in scale with the building and block proportions. They should not overpower the facade or cover any significant architectural components.” Staff believes the sign on this building is large but not overpowering. The wall does not have significant detail and the open nature of the graphic helps to minimize any impact the scale of the sign might have.

## **STAFF RECOMMENDED MOTION**

**2015-COA-304 (FS):**

**Approval of a Certificate of Appropriateness for the following:**

1. Installation of wall sign on south elevation
2. Installation of metal storage container at rear of building
3. Variations

**All as per submitted documentation and subject to the following stipulations:**

1. A photograph or other detailed documentation of the proposed container shall be approved by staff before it is installed. Approved: \_\_\_\_\_ Date: \_\_\_\_\_
2. Sign must be installed into mortar joints only, not into brick.
3. Any changes to the approved design must be approved by IHPC staff prior to starting work.

**NOTE: Shipping container must always be located in the place identified on the site plan.**

**Note: Stipulations 1, 2, and 3 must be completed prior to the issuance of any building permits.**

**Variance Petition #2015-VHP-031:**

1. To approve a Variance of Development Standards of the C-4 Zoning Ordinance to allow outdoor storage (metal shipping container), and
2. To approve a Variance of the C-4 Sign Ordinance to allow a wall sign on a side elevation to exceed the maximum dimensions allowed.

**Staff Reviewer: Meg Purnsley**



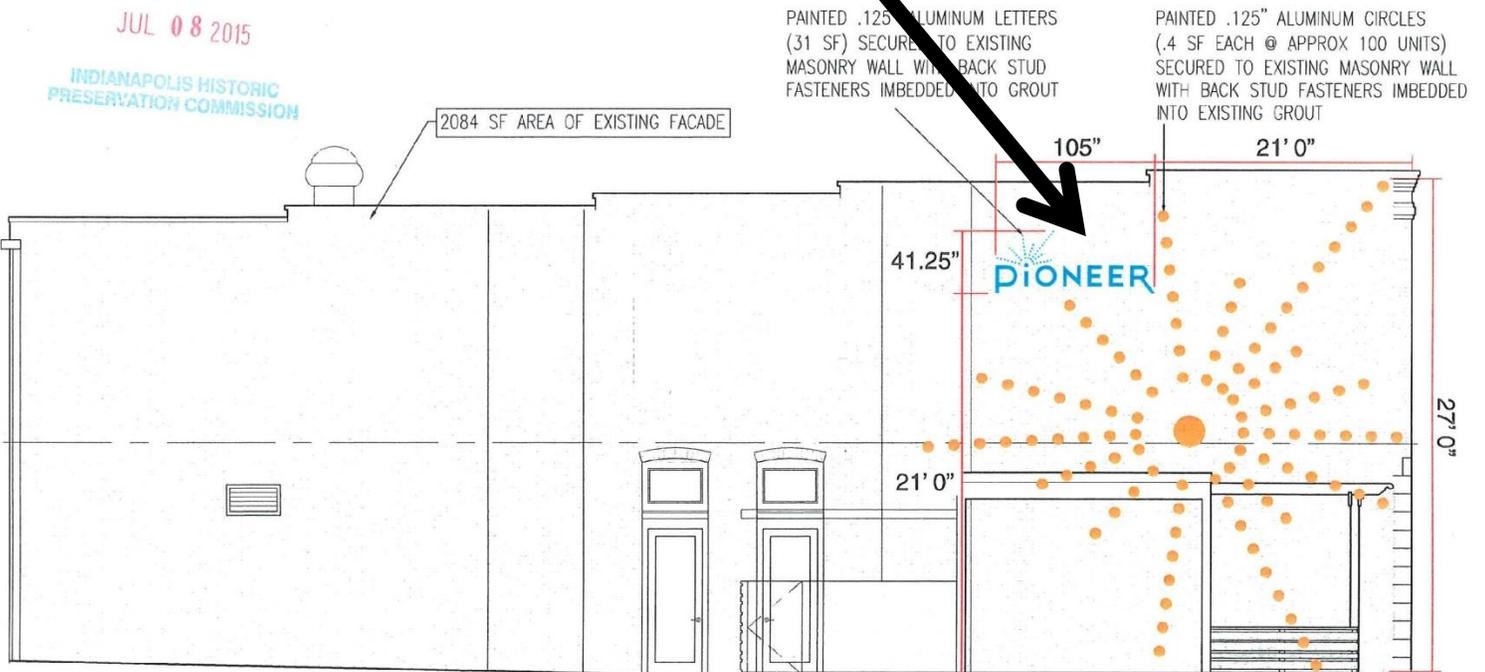


*Front of building*



*North side of building*

# SIGN PROPOSAL

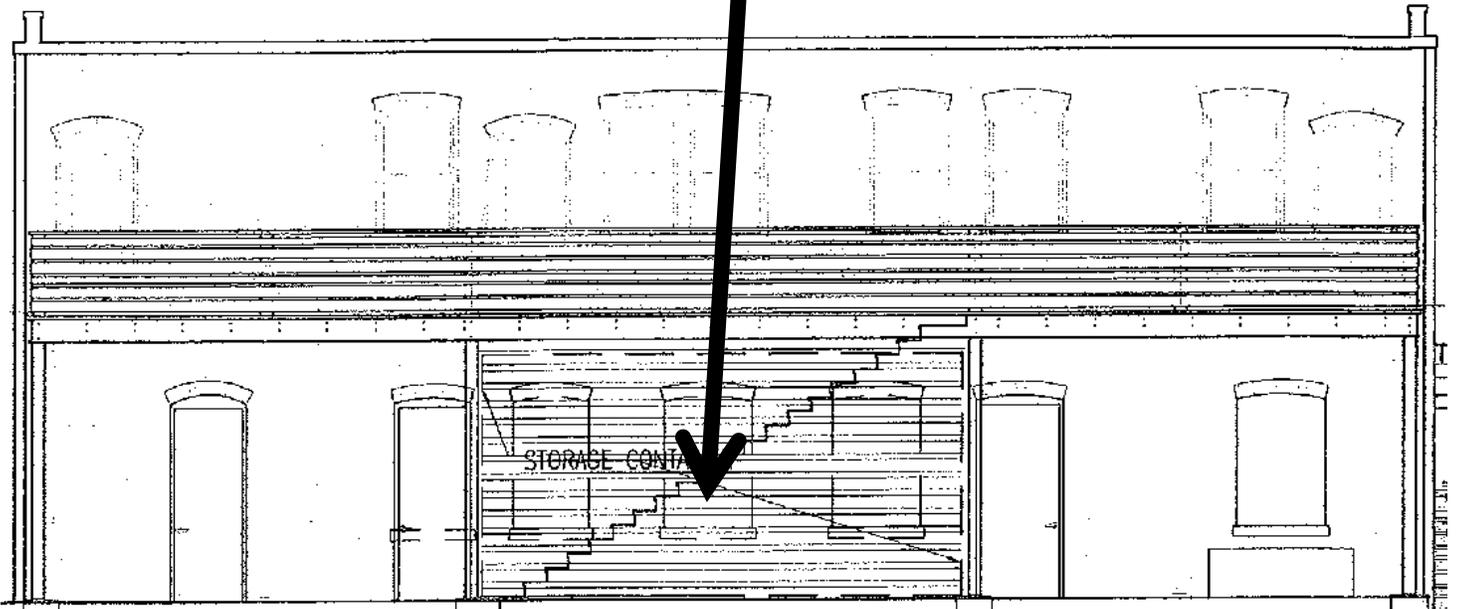


**DRAWING INCLUDES PERGOLA APPROVED IN PREVIOUS COA**

**OUTDOOR STORAGE CONTAINER PROPOSAL**



***Back of building***



***Proposed container to look like this, painted black.***



**METROPOLITAN BOARD OF ZONING APPEALS, Division  
OF MARION COUNTY, INDIANA  
PETITION FOR VARIANCE OF USE  
FINDINGS OF FACT**

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE:

All storage shall be contained within the container and its location under the balcony shall mitigate any negative appearance it would provide. The container shall be painted black and will blend with the color of balcony.

2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE  
The residences to the west will be some distance from the container and the container once painted and placed under the balcony will be less observable than a dumpster even within an enclosure.

3. THE NEED FOR THE VARIANCE ARISES FROM SOME CONDITION PECULIAR TO THE PROPERTY INVOLVED AND THE CONDITION IS NOT DUE TO THE GENERAL CONDITION OF THE NEIGHBORHOOD BECAUSE

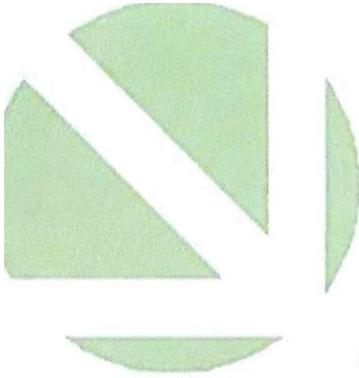
The unique use of this commercial facility and the lack of adequate storage within the building produces the need for the container to be placed at the rear of the building, but close to the rear of the building for access to the container.

4. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE CONSTITUTES AN UNUSUAL AND UNNECESSARY HARDSHIP IF APPLIED TO THE PROPERTY FOR WHICH THE VARIANCE IS SOUGHT BECAUSE

The container would be similar to an accessory structure in size and location but because it is not on a permanent foundation, it is interpreted as outdoor storage although entirely within the container.

5. THE GRANT DOES NOT INTERFERE SUBSTANTIALLY WITH THE COMPREHENSIVE PLAN BECAUSE:

The property will remain zoned commercial and the fact that the container shall not be placed on a permanent foundation would allow for its removal from the site at a future date.



## SOUTHEAST NEIGHBORHOOD DEVELOPMENT

August 5, 2015

William A. Browne Jr., FAIA, President  
Indianapolis Historic Preservation Commission  
City-County Building, Suite 1842  
Indianapolis, IN 46204

RE: 1110 Shelby Street  
2015-VHP-031  
2015-COA-304

Dear President Browne,

Southeast Neighborhood Development (SEND) is a non-profit community development corporation created by residents to revitalize the near southeast side of Indianapolis and to enhance the quality of life of its diverse spectrum of residents. SEND accomplishes its mission through five areas of activity. One of these areas is to serve as an advocate for the interests of the entire community.

SEND staff met with the proprietor and his representatives on several occasions. We believe that we understand the needs for the variance and we support the Petitioner in this regard. Further, we believe that the Pioneer project serves the interests of the entire community; therefore, we also support the Petitioner in his bid to obtain a Certificate of Appropriateness.

SEND looks forward to welcoming this new business to the greater Fountain Square community.

Sincerely,  
  
Paul F. Smith, President

Anything but...square.

August 3, 2015

Dear IHPC Members,

Our members were presented with information related to a variance requested for the Pioneer located at 1110 Shelby Street, case 2015-VHP-031 and 2015-COA-304 at our July, 2015 membership meeting. We understand the variance requests is to allow an outdoor storage container behind the building, and to allow for a sign graphic on the building. The exhibits and description of these improvements presented were well received by all in attendance.

We are writing to express our support for approval of this variance request. FSMA finds the storage container and the proposed location acceptable, and the sign graphic is nicely designed and appropriate for the venue.

Our membership is looking forward to the opening of the Pioneer in the near future, and to your contribution to our merchant community in the years to come.

Sincerely,



Dawn Kroh, President



Fountain Square Merchants Association  
1104 Shelby Street  
Indianapolis, IN 46203

[www.discoverfountainsquare.com](http://www.discoverfountainsquare.com)

RECEIVED

AUG 05 2015

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

COA # <b>2015-COA-306 (HMP)</b>	INDIANAPOLIS HISTORIC PRESERVATION COMMISSION <b>STAFF REPORT</b>	Hearing Date <b>AUGUST 19, 2015</b>
		<i>Continued from: August 5, 2015</i>
1901 N. TALBOTT STREET HERRON-MORTON PLACE		Center Twp. Council District 15 Vop Osili
Applicant <b>J &amp; R EQUITY CORP.</b> mailing address: P.O. Box 837 Zionsville, IN 46077		
Owner: <b>SAME AS ABOVE</b>		
CONTINUED CASE		
IHPC COA: <b>2015-COA-306 (HMP)</b> Construct a 2-story, single-family house with attached 2-car garage [May be changed to “detached garage.”]		
STAFF RECOMMENDATION: <b>Approval</b>		

**STAFF COMMENTS**

**UPDATE from August 2, 2015**

This petition was originally scheduled to be heard on August 5<sup>th</sup>. The Herron-Morton Place Neighborhood Association asked the applicant to continue the case to August 19<sup>th</sup> in order to allow a discussion with the Land Use Committee about the proposed attached garage. The applicant has told staff that he has come to an agreement with the neighborhood and will be slightly altering the design to create a 5 ft. connector breezeway between the house and garage as a break between the house and garage.

As of the drafting of this staff report, new drawings have not yet been provided. Therefore, the remainder of the report and the drawings included remain the same as August 5<sup>th</sup>. Staff has asked the applicant to provide a full set of updated drawings as soon as possible for the Commission packets.

**Background of the Property**

The 1898 Sanborn map shows a duplex on this parcel. Aerial photography demonstrates that the building was demolished between 1956 and 1962. It is currently a vacant lot.

**Design & Materials of the House and Garage**

The house is a contemporary gable front design, executed by Summit Design Group, Inc. It utilizes a combination of cement board lap siding and smooth cedar vertical siding. The front façade has the lap siding on the bottom and the vertical on the second floor. There is a flat roof covered entry porch with 4 in. steel tube columns. The windows on the first floor are paired, and rectangular and square windows on the second story. The rear façade has the two overhead garage doors, with the vertical cedar on the upper story, and the lap siding on the lower story.

The north elevation has lap siding on the lower section, and vertical cedar on the upper third, with a band board separating them. The windows are casement and fixed. The south elevation has a two story bay with vertical cedar and square windows grouped in threes. There is a covered porch with a connector mud room providing garage access.

The garage is attached to the house, but is done so in a manner respectful of the historic context of detached garages. The connector is recessed behind an entry porch and patio. It is located at the back of the lot, and

fronts the alley. The lots on Talbott Street are shorter than other lots in the neighborhood, so pose more of a challenge to fit both a primary and accessory structure.

**Setbacks**

Front Setback. The main body of the house is setback 28 ft. The distance to the porch is 23 ft. It closely aligns with the house next door, but keeps the new construction out of the clear sight triangle.

Side Setbacks. The house is 5 ft. from the north property line, and 10 ft. from the south property line. The garage has a 3 ft. setback from the rear.

**Context**

The surrounding properties are varied. To the north is a new construction home, as well as across 19<sup>th</sup> Street. Directly across the street is a large, 3 story brick apartment building.

**Herron-Morton Place Area Plan**

The New Construction Guidelines provide direction for reviewing this project:

Basic Principle: *“New construction should reflect the design trends and concepts of the period in which it is created. New structures should be in harmony with the old and at the same time be distinguishable from the old so the evolution of Herron-Morton Place can be interpreted properly.”*

Style and Design: *“Creativity and original design are encouraged. A wide range is theoretically possible, from modern to revivals, from simple to decorated.”*

*“Surrounding buildings should be studied for their characteristic design elements. The relationship of those elements to the character of the area should then be assessed. Significant elements define compatibility. Look for characteristic ways in which buildings are roofed, entered, divided into stories and set on foundations. Look for character defining elements such as chimneys, dormers, gables, overhanging eaves, and porches”*

*“Avoid the adoption of, or borrowing from styles, motifs or details of a period earlier than that of the historic district or which are more typical of other areas or cities.”*

Fenestration: *“Creative expression with fenestration is not precluded, provided the result does not conflict with or draw attention from surrounding historic buildings.”*

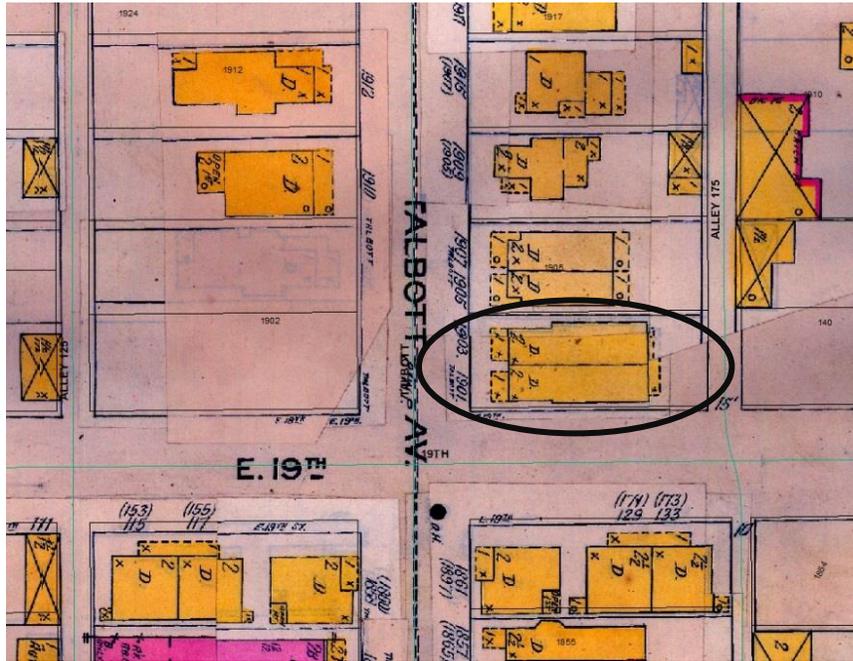
Materials: *“The dimensions, textures and patterns of building materials should not conflict with those found on historic buildings in the area. This can often be accomplished with some flexibility since building materials, if used within basic guidelines, have less impact on visual compatibility than larger scale visual elements.”*

Staff finds this design compatible with the district guidelines and neighboring context of varying styles of new construction and historic buildings. It has a modern character and does not attempt to mimic a particular style.

**STAFF RECOMMENDED MOTION**

**2015-COA-306 (HMP): [The following motion may change after seeing modified plans for the garage.]  
To approve a Certificate of Appropriateness for construction of a 2-story, single-family home with an attached, 2-car garage per the submitted documentation and subject to the following stipulations:**





1898 Sanborn map



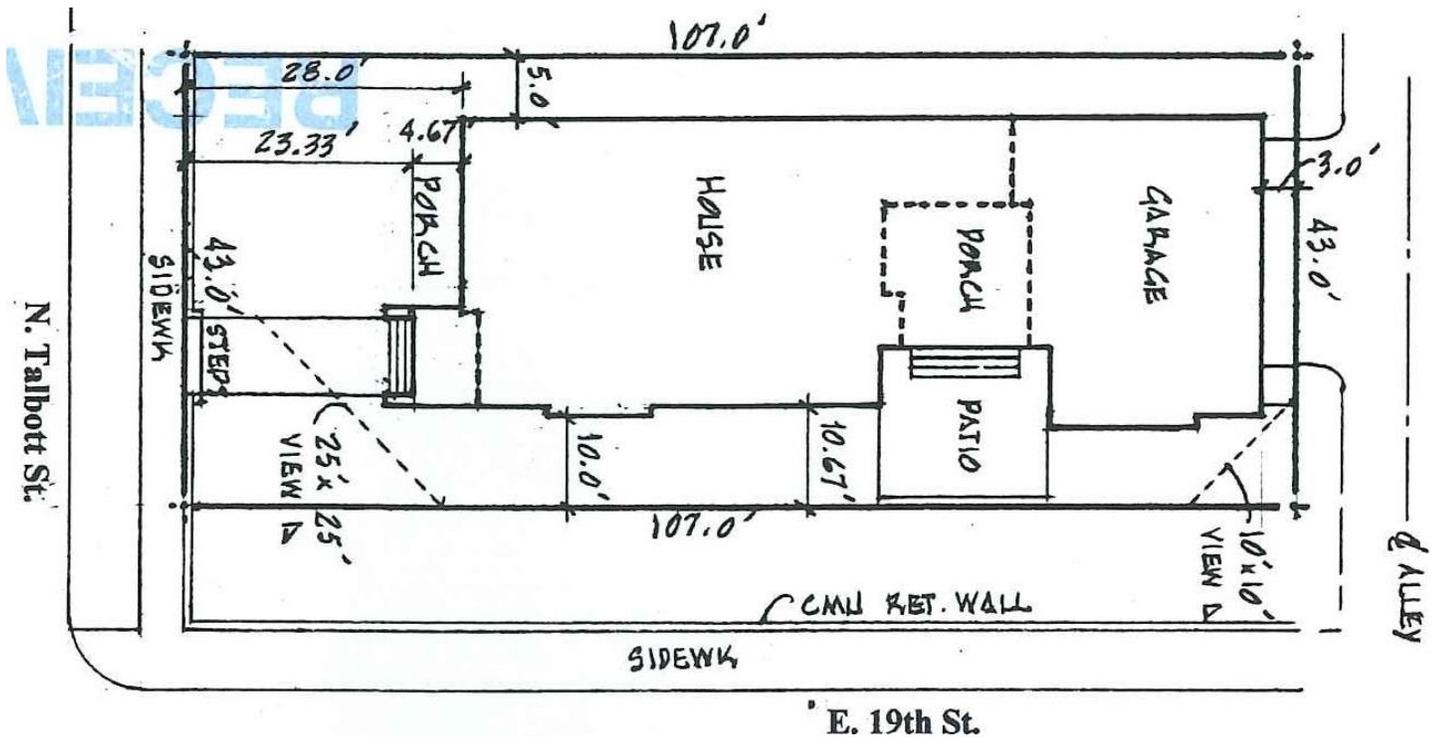
© 2014 Pictometry (04/05/2014)

Aerial view of site

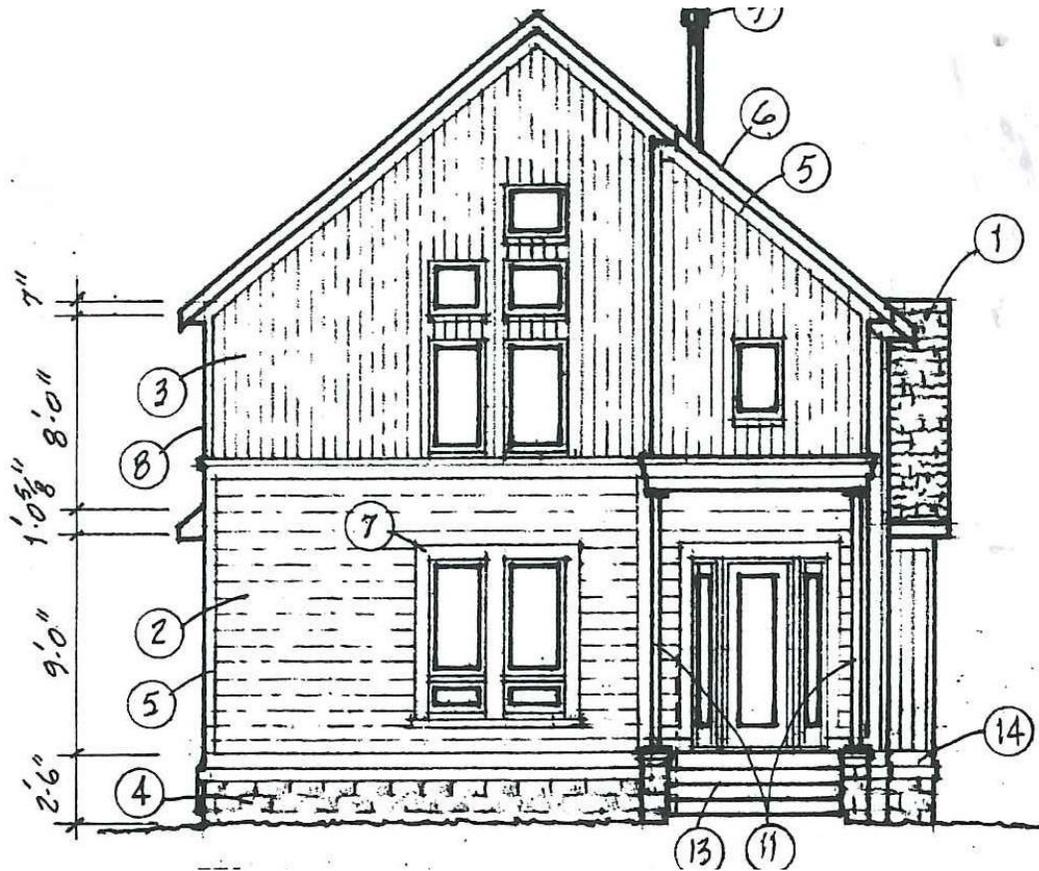


Subject lot

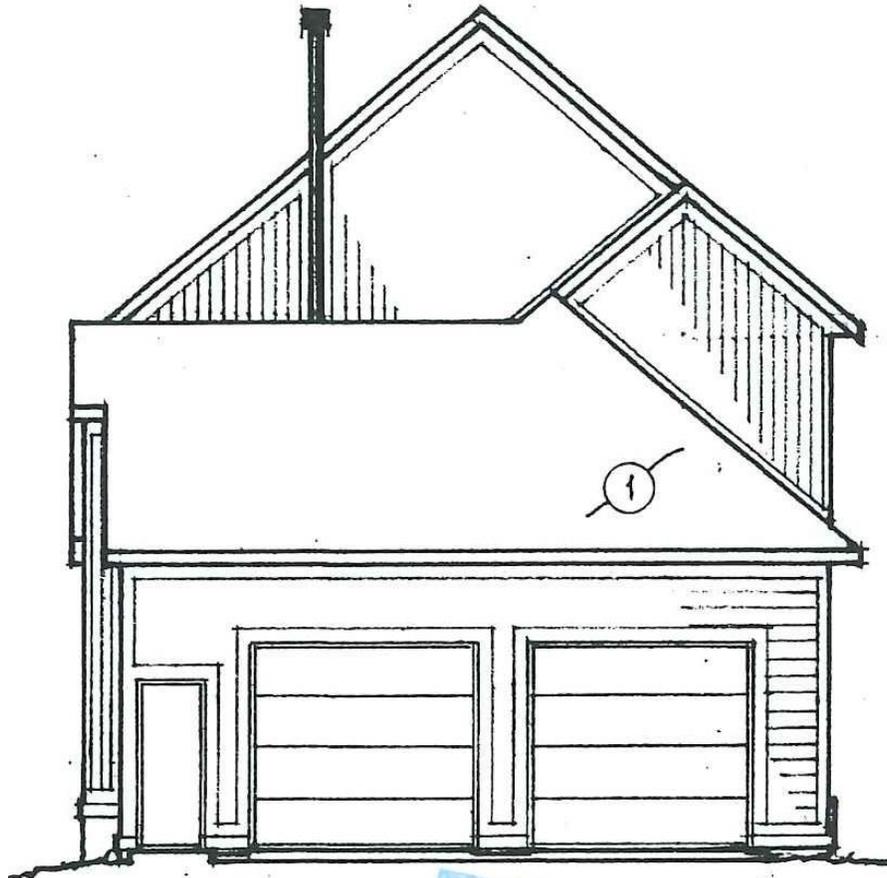
NOTE: Commission members will receive full set of plans



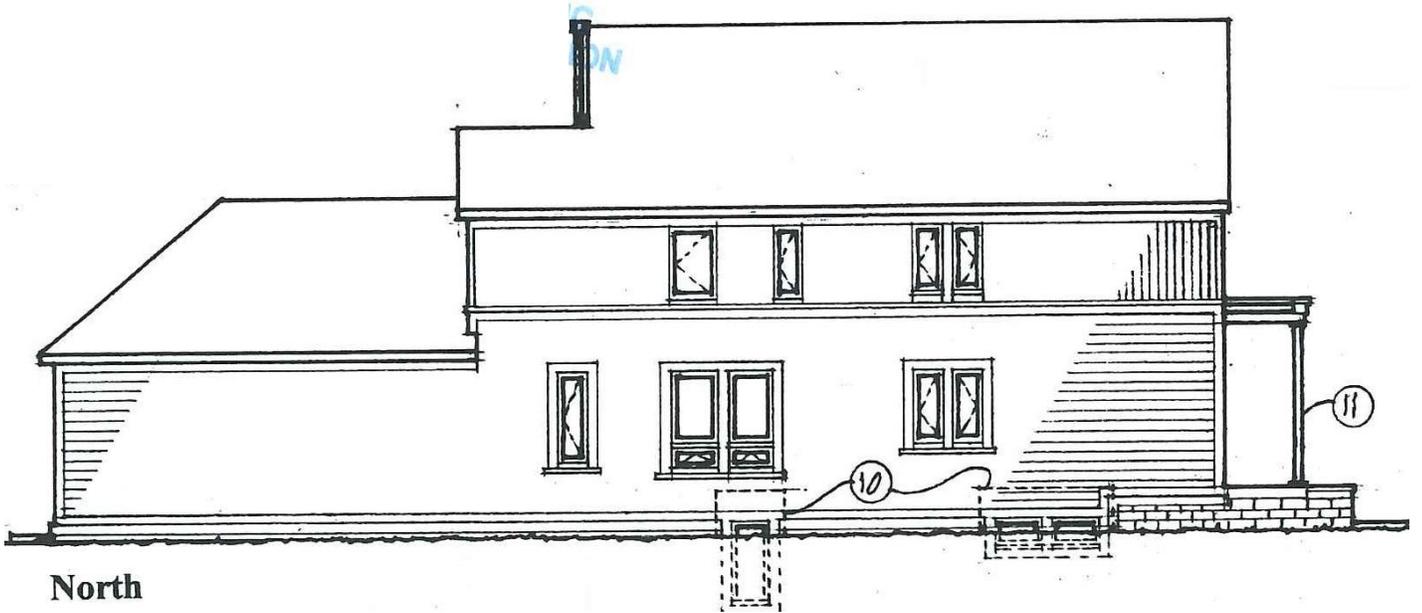
Proposed Site Plan



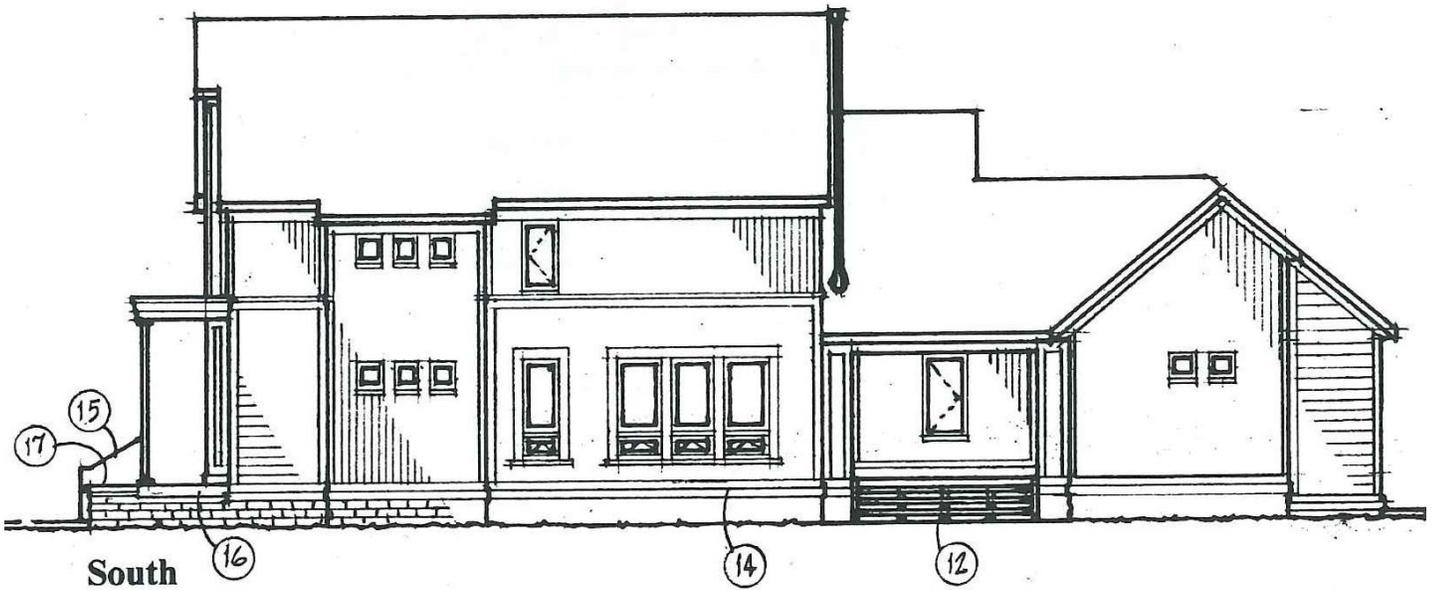
Front (west) elevation



Rear (east) elevation



North



South

<p align="center"><b>COA #</b>  <b>2015-COA-238 (HMP)</b>  <b>2015-VHP-021</b></p>	<p align="center"><b>INDIANAPOLIS HISTORIC PRESERVATION  COMMISSION</b></p> <p align="center"><b>STAFF REPORT</b></p>	<p align="center">Hearing Date  <b>AUGUST 19, 2015</b></p>
<p align="center"><b>1850-52 N. ALABAMA STREET  HERRON-MORTON PLACE</b></p>		<p>Continued from:</p> <p>August 5, 2015  July 1, 2015</p> <p>Center Twp.  Council District 9  Joseph Simpson</p>
<p><b>Applicant</b></p>	<p><b>DAVE GIBSON/ A3 DESIGN</b>  mailing address: 5150 N Delaware Street  Indianapolis, IN 46205</p>	
<p><b>Owners:</b></p>	<p><b>Richard Douglas Thurston, Jr. (1852)</b>  4814 Common View Cr  Indianapolis, IN 46220  <b>Alpine Property Management, LLC (1850)</b>  804 N Delaware St, Suite A  Indianapolis, IN 46204</p>	
<p align="center"><b>COMBINED CASE</b></p>		
<p><b>IHPC COA: 2015-COA-238 (HMP)</b></p>	<ul style="list-style-type: none"> <li>• Construct mixed use building and site improvements</li> <li>• Variances of Use and Development Standards</li> </ul>	
<p><b>Variances: 2015-VHP-021</b></p>	<p>Variances of Use and Development Standards of the C-3 Zoning Ordinance to allow the following:</p> <ul style="list-style-type: none"> <li>• A reduced front yard setback from Alabama Street property line (10 feet required, 0' provided)</li> <li>• A reduced front yard setback from a protected district along 19<sup>th</sup> Street property line (as per 731-214(a)(1) (20 ft required, 0' provided)</li> <li>• A reduced front yard setback from a protected district for buildings over 18 feet tall along 19<sup>th</sup> Street property line (as per 732-203(b)(8))</li> <li>• Less off-street parking than required</li> <li>• A reduced parking area access drive width than required (20 ft required, 17'-3" provided)</li> <li>• A reduction in parking space sizes than required</li> <li>• Construction within the required clear sight triangle at the northeast corner of the property</li> <li>• Construction within the required clear sight triangle at the northeast corner of the parking area at 1850 N Alabama St</li> <li>• A reduction in the required landscaping in the front yard along 19<sup>th</sup> Street and along Alabama Street.</li> <li>• Variance of Use to allow residential use in a C-3 Zoning District (not permitted)</li> </ul>	
<p><b>STAFF RECOMMENDATION: Hear Request Without Staff Recommendation</b></p>		

At the August 5, 2015 IHPC Hearing, the above case was continued to allow time for the applicant to further develop the plans. Staff has not written a report due to the short time between the two hearings. The applicant has not submitted new plans, but will do so at the August 19<sup>th</sup> hearing.

**STAFF RECOMMENDED MOTION FROM AUGUST 5th**

**COA #2015-COA-238 (HMP):**

**To approve a Certificate of Appropriateness to construct a mixed use building and site improvements and for Variances of Use and Development Standards as per submitted documentation and subject to the following stipulations:**

**DCE: Stipulations number 1, 2, and 3 must be fulfilled prior to issuance of permits.**

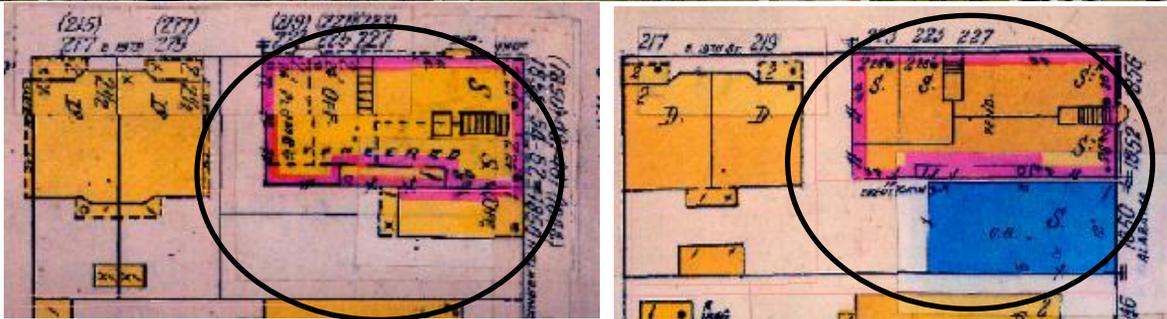
- 1. Construction must not commence prior to approval by the IHPC staff of final construction drawings. *Approved \_\_\_\_\_ Date \_\_\_\_\_***
  - 2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved \_\_\_\_\_ Date \_\_\_\_\_***
  - 3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction. *Approved \_\_\_\_\_ Date \_\_\_\_\_***
- 4. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.**
  - 5. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.**
  - 6. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.**

**VARIANCE PETITION #2015-VHP-021:**

**To approve a Variance of Use and Development Standards of the C-3 Zoning Ordinance to allow the following:**

- A reduced front yard setback from Alabama Street property line (10 feet required, 0' provided)**
- A reduced front yard setback from a protected district along 19<sup>th</sup> Street property line (as per 731-214(a)(1) (20 ft required, 0' provided)**
- A reduced front yard setback from a protected district for buildings over 18 feet tall along 19<sup>th</sup> Street property line (as per 732-203(b)(8))**
- Less off-street parking than required**
- A reduced parking area access drive width than required (20 ft required, 17'-3" provided)**
- A reduction in parking space sizes than required**
- Construction within the required clear sight triangle at the northeast corner of the property**
- Construction within the required clear sight triangle at the northeast corner of the parking area at 1850 N Alabama St**
- A reduction in the required landscaping in the front yard along 19<sup>th</sup> Street and along Alabama Street.**
- Variance of Use to allow residential use in a C-3 Zoning District (not permitted)**

**Staff Reviewer: Meg Purnsley**



Above: 1898 Sanborn Map and 1915 Sanborn Map of the site



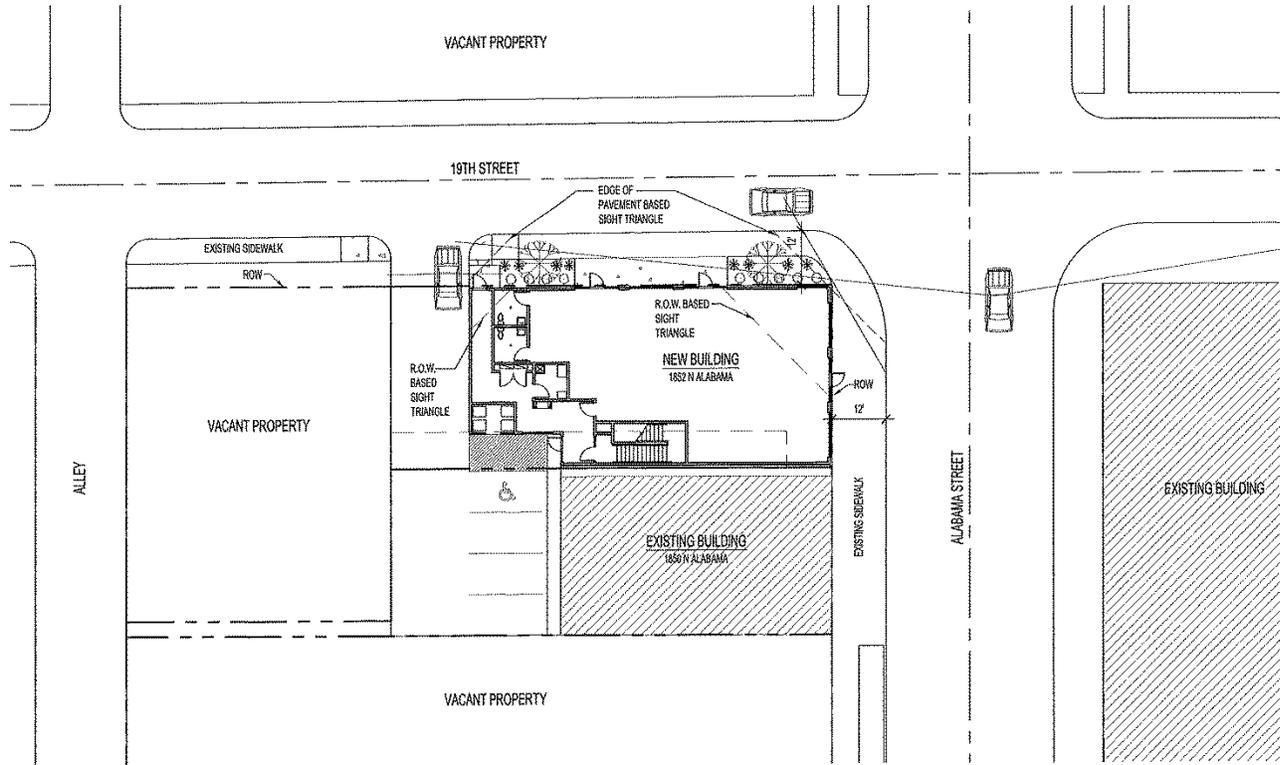
**Above: View of existing building at 1850 N. Alabama St and vacant lot at 1852 N. Alabama St**

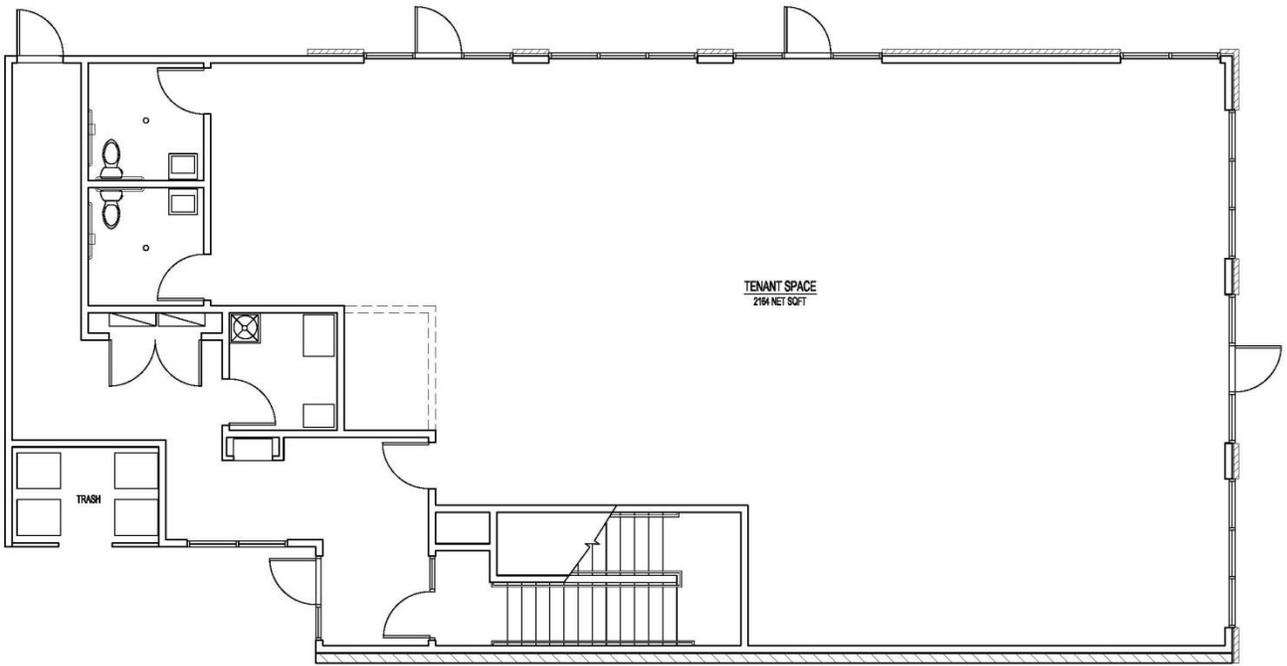


**Above and below: View of adjacent properties to the east and west.**



# PLANS FROM AUGUST 5<sup>th</sup> HEARING

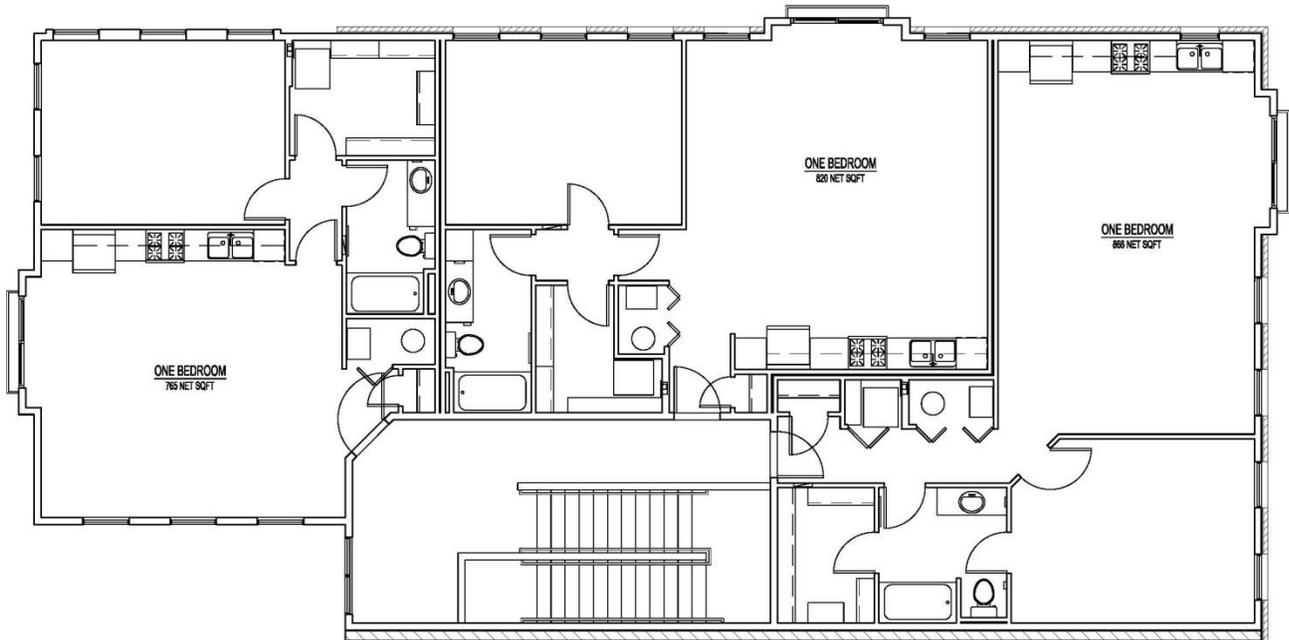




FIRST FLOOR: 2,933 SQFT  
 SECOND FLOOR: 3,026 SQFT  
 BUILDING: 5,959 SQFT

**FIRST FLOOR PLAN** 19th & Alabama  
 1852 N Alabama Street  
 Scale: 3/16"=1'-0" May 27, 2015

**A3design.**  
 Architecture Studio of Dave Gibson, AIA  
 www.a3studio.com



FIRST FLOOR: 2,933 SQFT  
 SECOND FLOOR: 3,026 SQFT  
 BUILDING: 5,959 SQFT

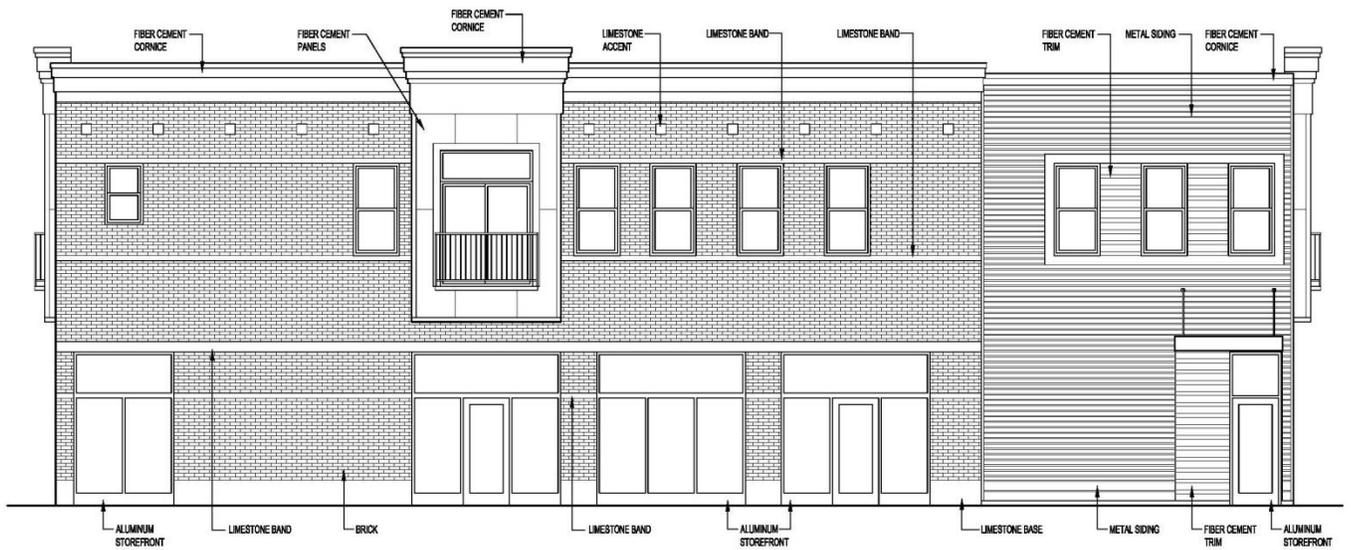
**SECOND FLOOR PLAN** 19th & Alabama  
 1852 N Alabama Street  
 Scale: 3/16"=1'-0" May 27, 2015

**A3design.**  
 Architecture Studio of Dave Gibson, AIA  
 www.a3studio.com



**EAST ELEVATION** 19th & Alabama  
1852 N Alabama Street

Scale: 3/16"=1'-0" May 27, 2015



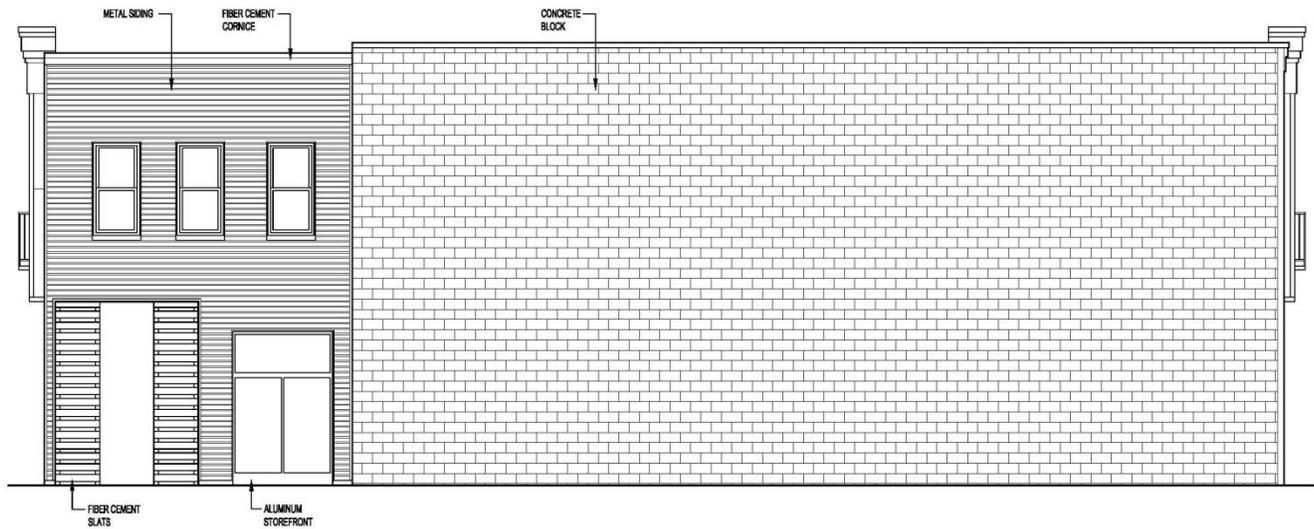
**NORTH ELEVATION** 19th & Alabama  
1852 N Alabama Street

Scale: 3/16"=1'-0" May 27, 2015





**WEST ELEVATION** | 19th & Alabama  
 1852 N Alabama Street  
 Scale: 3/16"=1'-0" | May 27, 2015



**SOUTH ELEVATION** | 19th & Alabama  
 1852 N Alabama Street  
 Scale: 3/16"=1'-0" | May 27, 2015

**A3design.**  
 Architecture Studio of Dave Gibson, AIA  
 www.a3studio.com

Petition Number \_\_\_\_\_

Variance for: Reduced Front Yard Setback along Alabama Street

METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA

PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS

FINDINGS OF FACT

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE a commercial building being located on the property/R.O.W. line is typical in urban areas and this neighborhood. Both the building next door and the one across the street are located on the property/R.O.W. lines for the street(s) they front.
2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE other commercial buildings in the immediate area are also located on the property lines; therefore an additional instance should have no substantial effect on property values. The addition of 3 dwelling units and an office space to the now vacant lot will introduce new renters to the area which will increase the tax revenue generated by this property and help to keep this area a vibrant and occupied neighborhood.
3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE the required front yard setbacks would reduce the buildable space to a strip of land that is only 8' wide by 87'-6" deep.

DECISION

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

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JUN 17 2015

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

Petition Number \_\_\_\_\_  
Variance for: Reduced Front Yard Setback along 19<sup>th</sup> Street

**METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA**

**PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS**

**FINDINGS OF FACT**

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE a commercial building being located on the property/R.O.W. line is typical in urban areas and this neighborhood. Both the building next door and the one across the street are located on the property/R.O.W. lines for the street(s) they front.
2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE other commercial buildings in the immediate area are also located on the property lines; therefore an additional instance should have no substantial effect on property values. The addition of 3 dwelling units and an office space to the now vacant lot will introduce new renters to the area which will increase the tax revenue generated by this property and help to keep this area a vibrant and occupied neighborhood.
3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE the required front yard setbacks would reduce the buildable space to a strip of land that is only 8' wide by 87'-6" deep.

**DECISION**

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

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JUN 17 2015

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

Petition Number \_\_\_\_\_

Variance for: Reduced Front Yard Setback across from a Protected District

METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA

PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS

FINDINGS OF FACT

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE a commercial building being located on the property/R.O.W. line is typical in urban areas and this neighborhood. Both the building next door and the one across the street are located on the property/R.O.W. lines for the street(s) they front. Commercial buildings being located across the street from residential uses in urban areas is not uncommon.
2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE other commercial buildings in the immediate area are also located on the property lines; therefore an additional instance should have no substantial effect on property values. The addition of 3 dwelling units and an office space to the now vacant lot will introduce new renters to the area which will increase the tax revenue generated by this property and help to keep this area a vibrant and occupied neighborhood.
3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE the required front yard setbacks would reduce the buildable space to a strip of land that is only 8' wide by 87'-6" deep.

DECISION

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

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JUN 17 2015

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

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Petition Number \_\_\_\_\_

Variance for: Reduction in Number of Off-street Parking Spaces

METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA

PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS

FINDINGS OF FACT

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE although zoning requires 1.5 off-street parking spaces per dwelling unit, small one bedroom units in an urban setting are typically only provided with one parking space. Three parking spaces, or one for each unit, are proposed for the dwelling units. It is also typical for commercial spaces in urban areas not to have off-street parking and instead rely solely on street parking. One off-street space for the use of the commercial tenant along with on-street parking on both 19<sup>th</sup> Street and Alabama Street are available. A reduction of off-street parking is typical in dense urban areas, as the zoning requirements are more appropriate for spread-out suburban areas.
2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE the office space is a desired type of commercial use within the neighborhood per the neighborhood plan and doesn't generate as much traffic/parking as some other commercial uses. Also, the commercial property across Alabama Street is a theater so its use of street parking is primarily evening and weekends, where the office space will primarily be in use on weekdays.
3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE the area necessary for the required parking spaces and drive aisles at the quantity and dimensions stipulated would reduce the area available for the building to a size that is not financially viable.

DECISION

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

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INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

Petition Number \_\_\_\_\_

Variance for: Reduced Drive Aisle Width

METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA

PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS

FINDINGS OF FACT

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE the amount of traffic on the access driveway will be extremely limited due to the fact that there will be traffic for only 4 spaces. Only tenants with an assigned space will be using the access drive and it is unlikely this will be at the exact same time. Traffic on the access drive will function more like a variable one-way which would only require 12' in width. Reduced size drive aisles are not uncommon in urban areas.
  
2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE having a surface parking lot large enough to accommodate the required number and sizes of spaces and drive aisles on a corner lot would likely serve to reduce property values and would not be in keeping with the character of the neighborhood.
  
3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE the area necessary for the required parking spaces and drive aisles at the quantity and dimensions stipulated would reduce the area available for the building to a size that is not financially viable.

DECISION

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

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INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

Petition Number \_\_\_\_\_

Variance for: Reduced Parking Space Size

METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA

PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS

FINDINGS OF FACT

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE only tenants with an assigned space will be using the lot. Reduced size parking spaces are not uncommon in urban areas.
  
2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE having a surface parking lot large enough to accommodate the required number and sizes of spaces on a corner lot would likely serve to reduce property values and would not be in keeping with the character of the neighborhood.
  
3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE the area necessary for the required parking spaces and drive aisles at the quantity and dimensions stipulated would reduce the area available for the building to a size that is not financially viable.

DECISION

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

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JUN 17 2015

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

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Petition Number \_\_\_\_\_

Variance for: Sight Triangle Encroachment @ NE corner

**METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA**

**PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS**

**FINDINGS OF FACT**

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE the clear sight triangle is based upon the R.O.W. line which is 12' away from the edge of pavement on both Alabama and 19<sup>th</sup> Streets. If the triangle were based upon the edge of pavement, the building would only be impeding about 12" at the corner of 19<sup>th</sup> and Alabama. This occlusion would only occur when turning right from 19<sup>th</sup> Street onto Alabama Street in which case viability of oncoming traffic is not impacted.
  
2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE although the required sight triangle is not being provided, actual viability is not being impeded.
  
3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE the sight triangle being based upon the R.O.W. lines rather than the edge of pavement, creates large areas of unusable space on a small urban lot.

**DECISION**

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

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JUN 17 2015

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

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Petition Number \_\_\_\_\_  
Variance for: Sight Triangle Encroachment @ Access Drive

METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA

PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS

FINDINGS OF FACT

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE the clear sight triangle is based upon the R.O.W. line which is 12' away from the edge of pavement on 19<sup>th</sup> Street. If the triangle were based upon the edge of pavement, the building would not be impeding the sight triangle at the interior access drive.
2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE although the required sight triangle is not being provided, actual viability is not being impeded.
3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE the sight triangles being based upon the R.O.W. lines rather than the edge of pavement, creates large areas of unusable space on a small urban lot.

DECISION

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

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JUN 17 2015

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

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Petition Number \_\_\_\_\_

Variance for: Reduction of Required Front Yard Landscaping

METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA

PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS

FINDINGS OF FACT

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE limited or no landscaping along front setbacks of buildings in urban environments is not unusual, and some landscaping will be provided along 19<sup>th</sup> Street in the R.O.W.
- 2.
3. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE the addition of a new aesthetically pleasing building plus limited landscaping on a currently vacant corner lot will add to the property values.
4. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE providing the setbacks to accommodate the required landscaping would reduce the buildable area of the lot below practical and financial viability.

DECISION

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

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JUN 17 2015

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION