

**Department of Parks and Recreation
City of Indianapolis
September 23, 2016**

REQUEST FOR INFORMATION

The Department of Parks and Recreation of the City of Indianapolis releases this Request for Information (RFI) with the intent to solicit the broadest array of approaches and ideas for operation of the Tarkington Park Café located in Tarkington Park, 45 W. 40th Street, Indianapolis, Indiana.

I. Background

Tarkington Park is undergoing a transformative improvement project that includes construction of a destination play area, splash plaza and Café. The improvement of Tarkington Park is part of a larger effort to revitalize the 38th and Illinois Street corridor. Creating a world class park in this area will help unite neighborhoods and signify pride and excellence in the heart of Midtown Indianapolis. The Department of Parks and Recreation, City of Indianapolis (Indy Parks) is interested in securing an operator for the Tarkington Park Café, which is under construction in Tarkington Park.

The design of the Café pays tribute to the renowned architect Edward Pierre, who designed the former tennis shelter within the Park. The construction of the Café is expected to be completed by the end of 2016. Future improvements within the park may include a performance stage with programming opportunities. A farmer's market venue will be located on 39th Street. Tarkington Park is proposed to have a connection to a District Center stop on the future Indy Go Red Line and Purple Line Bus Rapid Transit corridors. The park, which was acquired by the City in 1945, is named after Booth Tarkington, a native of Indianapolis and a Pulitzer Prize winning author of the early 1900's.

II. Existing Environment

The Café has been designed to be a "heat and serve" operation and does not include a commercial kitchen. Healthy food options are preferred. The sale of alcohol at the Café may be allowed only after approval by the Indianapolis Board of Parks and Recreation and the sale of alcohol should not be the major focus of the operation.

The interior square footage of the Café, as designed, is 1903 sq. ft. The area also includes (2) outdoor seating areas under canopy (one area to the west and one area to the east of the Café building). Outdoor tables and chairs will be provided by Indy Parks, but will be maintained and secured by the selected Operator. The interior of the building includes an entry vestibule, a glass enclosed seating and serving area, a one stall restroom, a prep/storage room, a trash collection room and a mechanical/equipment room.

The following information provides a general background of what Indy Parks will expect from the selected Operator.

OPERATIONS- The selected Operator will be responsible for all aspects of management and operation of the Café including hiring and training staff, supplies, menu selection, marketing, Board of Health approvals and all permits.

FINISHES AND EQUIPMENT- The selected Operator will be responsible for providing the millwork, furniture (except outdoor tables and chairs), equipment, appliances, trade fixtures and storage. All permanent improvements will remain the property of Indy Parks.

UTILITIES- The selected Operator will be responsible for activating utility hook-ups and for all utility bills associated with the interior and exterior operation of the Café, including trash service.

MAINTENANCE- The selected Operator will be responsible for daily maintenance and minor repairs, both interior and exterior.

SIGNAGE- The selected Operator will be responsible for the design, permitting and installation of any signage.

INSURANCE- The selected Operator will be responsible for securing insurance for Operators improvements, fire and property damage, workers compensation and general liability naming the City of Indianapolis as an additional insured.

By ordinance, park hours are dawn to dusk. Exceptions may be granted by the Board of Parks and Recreation.

For additional information:

Summary of information about the demographics and attributes of the surrounding neighborhood:

<https://www.dropbox.com/s/dotge6505hojxfa/Appendix-RetailMarketData.pdf?dl=0>

A website link to the Great Places 2020 plan:

<http://www.midtownindy.org/Greatplaces2020>

Results of survey regarding use of Tarkington Park:

<https://www.dropbox.com/s/h27j9alentvylsn/Tarkington%20Survey%20Results%20as%20of%20052616.pdf?dl=0>

III. Objectives

Indy Parks is interested in securing a qualified Operator who is able to implement a successful business in the Tarkington Park Café that is consistent with the image that Indy Parks wishes to project through its Mission Statement: “We connect communities by providing places and experiences that inspire healthy living, social engagement and a love of nature.”

This RFI represents Indy Parks desire to explore different ideas about the operation of the Café. Evaluation of responses to this RFI will be based on the following criteria:

- Revenue share or monthly lease payment to Indy Parks - To support the operation and maintenance of Tarkington Park.
- Proposed concept and menu- Healthy food options and concept compatible with a park setting.
- Community Benefit- Contributes to the improvement of Tarkington Park, the 38th and Illinois Street corridor and the quality of life in the surrounding neighborhoods.
- Company Background and Experience

IV. Submission Contents

Following this RFI, Indy Parks is likely to seek one or more vendor(s), *via a separate and subsequent procurement process*, to assist it in achieving its objectives. To reiterate, the purpose of this RFI is *not* to select a vendor(s). The purpose is to solicit feedback on the objectives set forth in this RFI and ideas from respondents to increase Indy Parks knowledge of potential available solutions.

Respondents may respond to this RFI by providing a proposed solution for all or any combination of the different objectives of this RFI. Respondents should base responses on their past experience and capabilities, and propose potential methods through which Indy Parks may structure the operation.

Respondents to this RFI are encouraged to provide each of the following:

1. Name and contact information (address, phone, fax and email) for the individual who will act as the respondent's principal contact throughout the RFI process and description of the individual members of the respondent's team with experience related to the objectives described in this RFI.
2. A description of the respondent's technical and practical experience in the following disciplines, to the extent each is applicable, and how this experience can advance the objectives in this RFI, if applicable:
 - a. Food Service Operations and Management – provide examples to demonstrate capabilities in fully managing, maintaining, and operating a food service business;
 - b. Personnel – provide a resume for each individual that will be directly involved with this project;
 - c. Associated Experience – provide examples to demonstrate other capabilities such as in marketing and/or community outreach;
 - d. Public-Private Partnerships – provide examples of structuring public-private partnerships as it relates to operating within a publicly owned facility;

- e. Financing Models – provide examples of specific project financing arrangements within your experience;
 - f. Reference names and addresses for each example provided.
3. Potential rent structures for a fair, legal, and complete solution of the management and operation of the Tarkington Park Cafe, including, but not limited to- lease payment, percentage of gross sales, finishing allowance, annual or percentage of gross rate increases or a combination of options. Describe recommendations regarding the length (including renewal terms) of any agreement for lease or management/operation of the Tarkington Park Café.
 4. Menu/Concept- A description of the proposed concept including suggested menu items.

V. Pre-Response Conference

Interested responders will be given an opportunity to tour the Café, ask questions, receive clarification or simply obtain a greater understanding of the services required by attending this conference prior to submitting a response to this RFI.

Date: September 29, 2016

Time: 4:00-6:00 pm (Meeting will be 4-5pm, tour of facility will be 5-6pm)

**Location: North United Methodist Church
3808 N. Meridian Street
Indianapolis, IN 46208**

VI. Deadline for Response to this RFI

Responses to this RFI should be submitted by **4:00 p.m. EDT, on Friday November 4, 2016.**

VII. Submission Requirements

Each submission should be sent in PDF format and emailed to julee.jacob@indy.gov Drawings or other graphic representations may be provided within the PDF. The submissions should include a table of contents, identifying the major sections outlined herein, and any illustrations, tables, charts or graphics included in the Proposal. Submissions (including all exhibits and attachments) shall not exceed 30 standard print pages. **NO PAPER COPIES WILL BE ACCEPTED.**

VIII. Inquiries

Any questions related to this RFI may be directed to:

Julee A. Jacob
Senior Manager, Special Projects
Indy Parks
Office: (317) 327-7015
Julee.jacob@indy.gov

IX. Privilege Clause; Right to Alter

- a. Notwithstanding any other provision in this RFI, Indy Parks may, in its sole discretion: (1) determine to enter into one or more transactions related to the management/operation of the Tarkington Park Cafe and (2) elect not to proceed with an RFP or with any transaction contemplated by this RFI.
- b. Indy Parks is under no obligation to respondents to this RFI. Indy Parks may, in its sole discretion, decide not to proceed with any or all of the transactions contemplated herein or may proceed with such transaction or transactions by any other procurement means or delivery model it may deem fit.
- c. Indy Parks further reserves the right to selectively identify on the basis of demonstrated qualifications and experience, some, but perhaps not all, respondents to this RFI for participation in the presentation stage of this RFI process, and for further participation in any RFP that may be issued or direct negotiations that may be entered into in relation to the transactions contemplated by this RFI.
- d. Indy Parks reserves the right to alter any of the conditions and criteria outlined in this RFI, including the deadline for submissions, by posting addenda on the City's website at <http://www.indy.gov/eGov/City/OFM/Purch/Pages/home.aspx>.

X. No Contract; Costs and Expenses; Additional Information

- a. This is an inquiry only. By responding to this RFI with a written submission or otherwise participating in the process as outlined by this RFI, each submitting party expressly agrees that no contract of any kind is formed under, or arises from this RFI and that no legal obligations as between any one or more proponents and Indy Parks will arise.
- b. Each respondent is solely responsible for its own costs and expenses in preparing and submitting a response to this RFI and participating in the RFI process, including any provision of any additional information or attendance at meetings or interviews.
- c. Indy Parks shall have no monetary obligation to any respondent to this RFI. Indy Parks will make information available to respondents via its website at <http://www.indy.gov/eGov/City/OFM/Purch/Pages/home.aspx> and will not respond to requests for additional information or make copies of documents as part of this solicitation process.

XI. Ownership of Submissions & Public Records Act

Indy Parks will be entitled to retain all submissions received in response to this RFI without pay or compensation. Submitting parties are advised that Indy Parks is subject to the Indiana Access to Public Records Act, and that any documents or other records provided to the City may, by law, be subject to disclosure.

Any material respondent considers confidential should be marked as such. However, the final determination on the confidentiality of the material shall be determined by the City-County under the Indiana Public Access Laws.

REQUEST FOR INFORMATION- TARKINGTON PARK CAFÉ

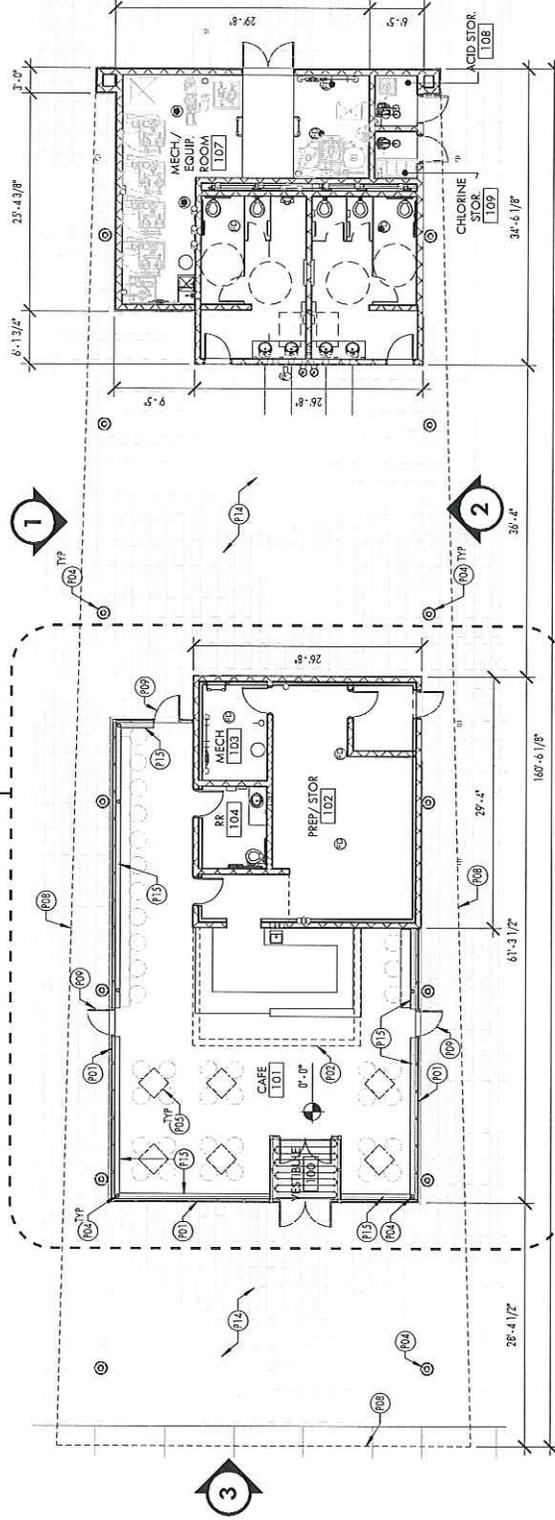
APPENDIX

- Floor Plan
- Enlarged Floor Plan
- Modified Floor Plan
- Floor Plan Sq. Footages
- Exterior Elevations
- Interior Elevations
- Interior Elevations
- Outdoor Furnishings
- Master Plan
- Playground Plan
- Spray Plaza Plan

PLAN KEYNOTES

- P01 EXTERIOR ALUMINUM STOREFRONT SYSTEM.
- P02 LINE OF BULKHEAD ABOVE. REFER TO RCP DRAWINGS.
- P04 STRUCTURAL STEEL COLUMN. TYP.
- P05 FURNITURE OPERATOR PROVIDED. OPERATOR INSTALLED.
- P06 JANITOR SINK. REFER TO MEP DWGS.
- P07 EQUIPMENT. REFER TO MEP OR FOUNTAIN CONSULTANT DWGS FOR REQUIRED PLUMBING, ELECTRICAL, EXHAUST.
- P08 ROOF CANOPY SHOWN DASHED. REFER TO EXTERIOR ELEVATION DWGS.
- P09 ALUMINUM DOOR IN ALUMINUM FRAME. REFER TO DOOR SCHEDULE.
- P10 INTERIOR ALUMINUM STOREFRONT SYSTEM.
- P11 INTERIOR MILLWORK.
- P12 HOLLOW METAL DOOR IN HOLLOW METAL FRAME.
- P14 PERMEABLE PAVERS. SEE LANDSCAPE DWGS.
- P15 BASEBOARD RADIATOR ENCLOSURE. SEE DETAIL 1/A2.3.
- P16 FLOOR DRAIN. SEE MEP DRAWINGS.
- P17 WALKOFF MAT AT VESTIBULE FLOOR.
- P18 EMERGENCY SHOWER/EYE WASH. SEE MEP DRAWINGS.
- P19 CONTAINMENT SUMP. SEE FOUNTAIN CONSULTANT DRAWINGS.
- P20 HOSE BIB AND EXTERIOR WALL SHOWER. REFER TO DETAIL 4/A1.2 FOR ELEVATION AND SEE PLUMBING DRAWINGS AND FIXTURE TYPE.
- P21 ROOF ACCESS LADDER. REFER TO DETAIL 1/A1.6.
- P22 DRINKING FOUNTAIN. REFER TO PLUMBING DRAWINGS.
- P23 INTERIOR MILLWORK. BY OPERATOR.

REFER TO PAGE 2 FOR ENLARGED PLAN OF CAFE/
PREP SPACE



OVERALL FLOOR PLAN

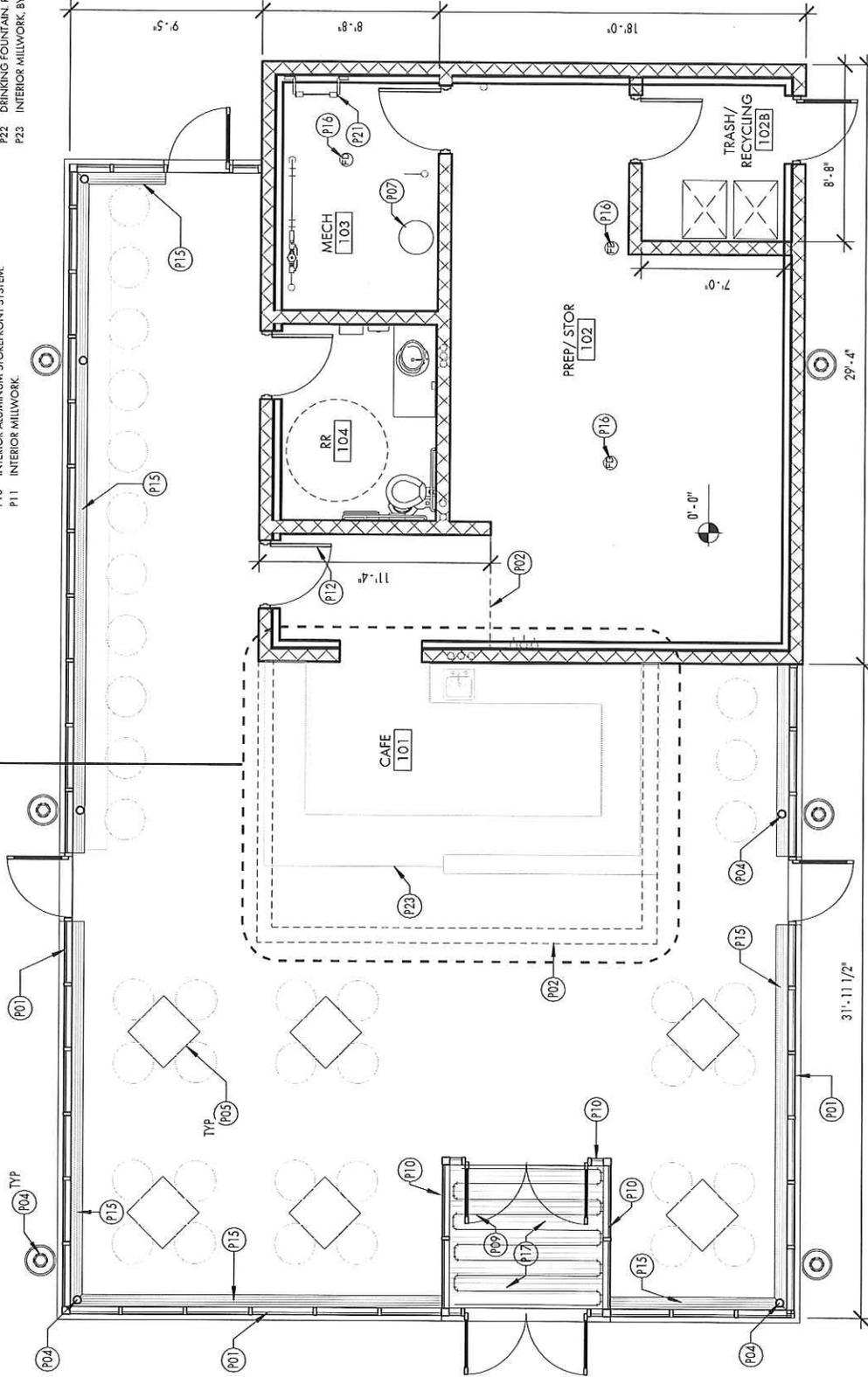
NOT TO SCALE



PLAN KEYNOTES

- P01 EXTERIOR ALUMINUM STOREFRONT SYSTEM.
- P02 LINE OF BULKHEAD ABOVE. REFER TO RCP DRAWINGS.
- P04 STRUCTURAL STEEL COLUMN. TYP.
- P05 FURNITURE OPERATOR PROVIDED. OPERATOR INSTALLED.
- P06 JANITOR SINK. REFER TO MEP DWGS.
- P07 EQUIPMENT. REFER TO MEP OR FOUNTAIN CONSULTANT DWGS FOR REQUIRED PLUMBING, ELECTRICAL EXHAUST.
- P08 ROOF CANOPY SHOWN DASHED. REFER TO EXTERIOR ELEVATION DWGS.
- P09 ALUMINUM DOOR IN ALUMINUM FRAME. REFER TO DOOR SCHEDULE.
- P10 INTERIOR ALUMINUM STOREFRONT SYSTEM.
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- P22 DRINKING FOUNTAIN. REFER TO PLUMBING DRAWINGS.
- P23 INTERIOR MILLWORK. BY OPERATOR.

REFER TO PAGE 6 FOR ENLARGED PLAN OF POTENTIAL MILLWORK



ENLARGED CAFE FLOOR PLAN

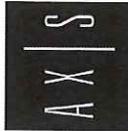
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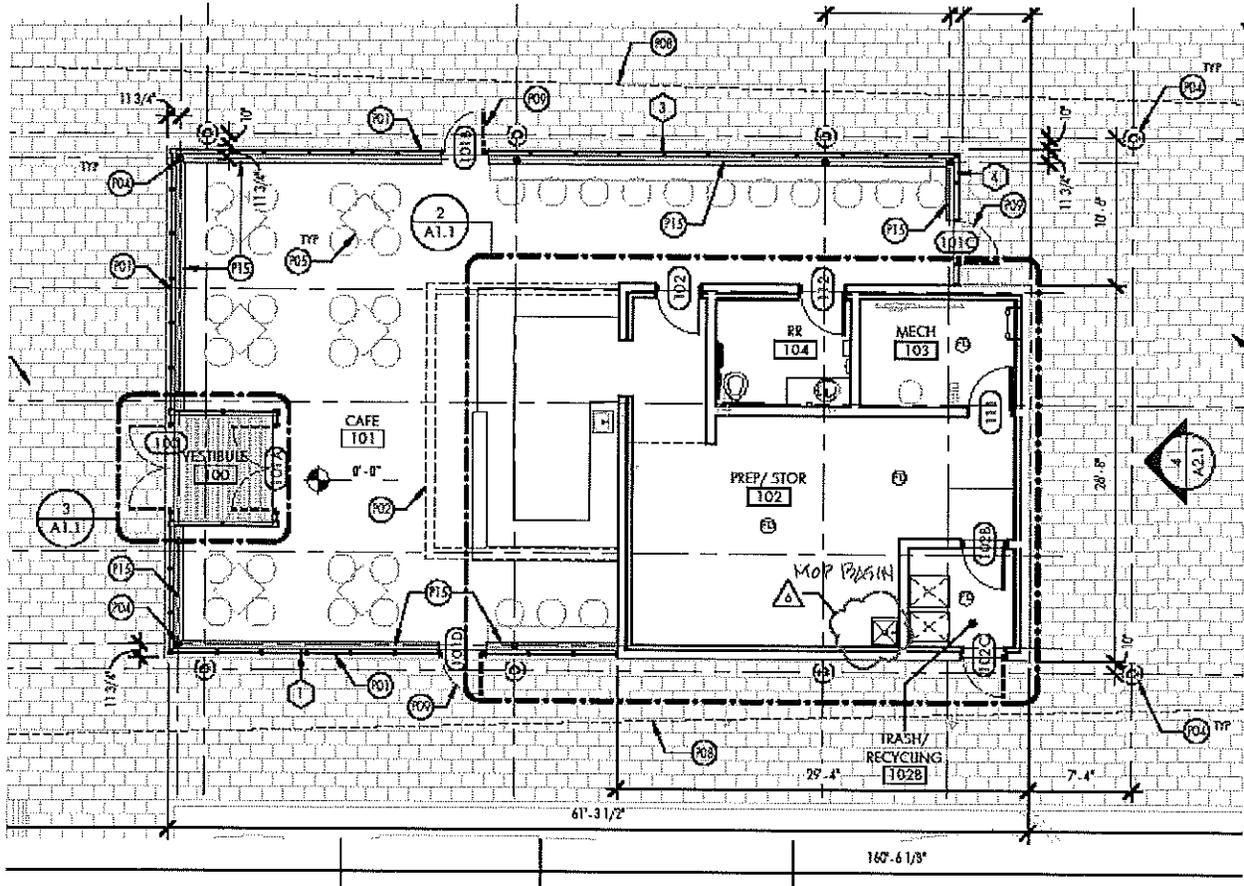
TARKINGTON PARK

MARCH 2016



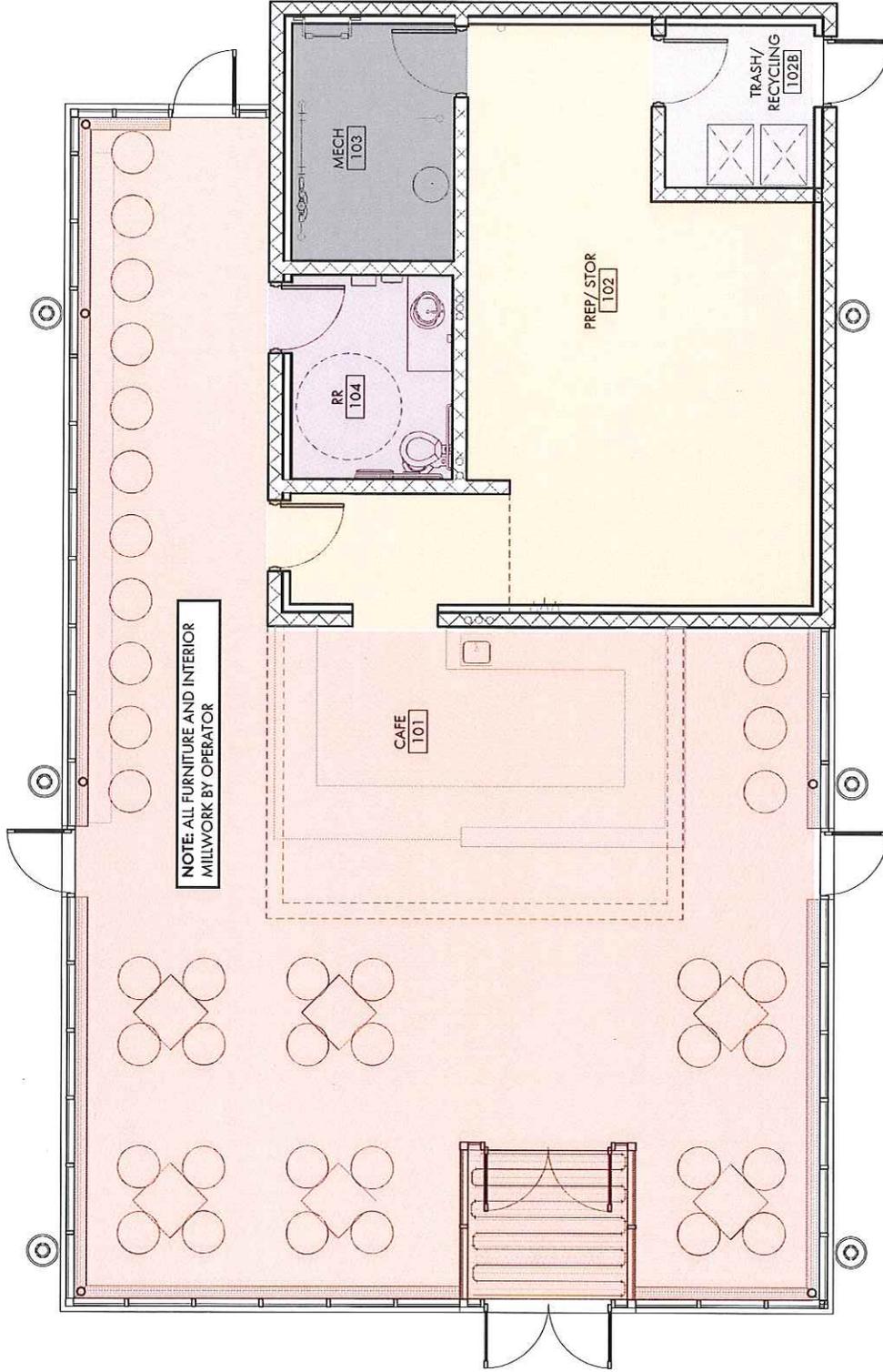
**RUNDLE
ERNSTBERGER
ASSOCIATES**
LAND PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE





PLAN AREAS

CAFE SPACE -	1,267 SF
PREP/ STORAGE ROOM -	424 SF
RESTROOM -	73 SF
MECHANICAL ROOM	85 SF
TRASH/ RECYCLING ROOM	54 SF
TOTAL NET AREA	1,903 SF

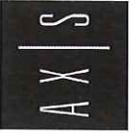


FLOOR PLAN AREAS
NOT TO SCALE

3
TARKINGTON PARK
MARCH 2016

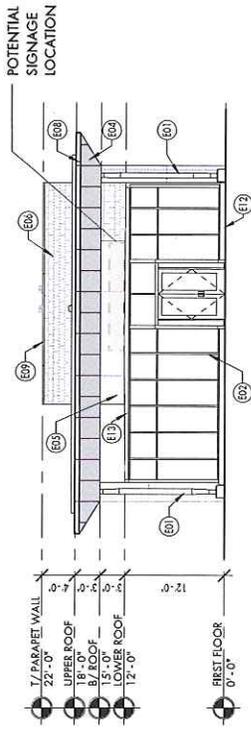


**RUNDLELL
ERNSTBERGER
ASSOCIATES**
LAND PLANNING • URBAN DESIGN • INTERIOR ARCHITECTURE

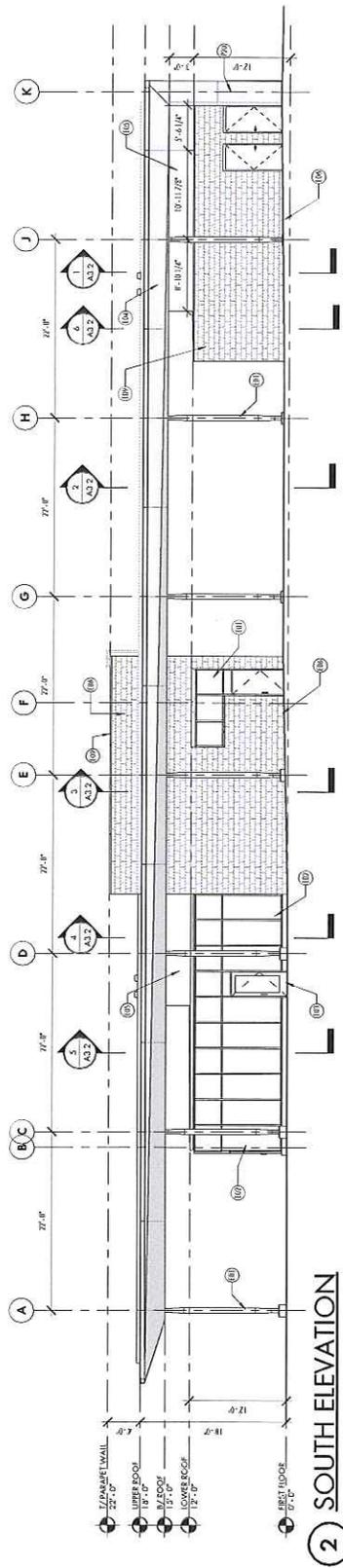


ELEVATION KEYNOTES

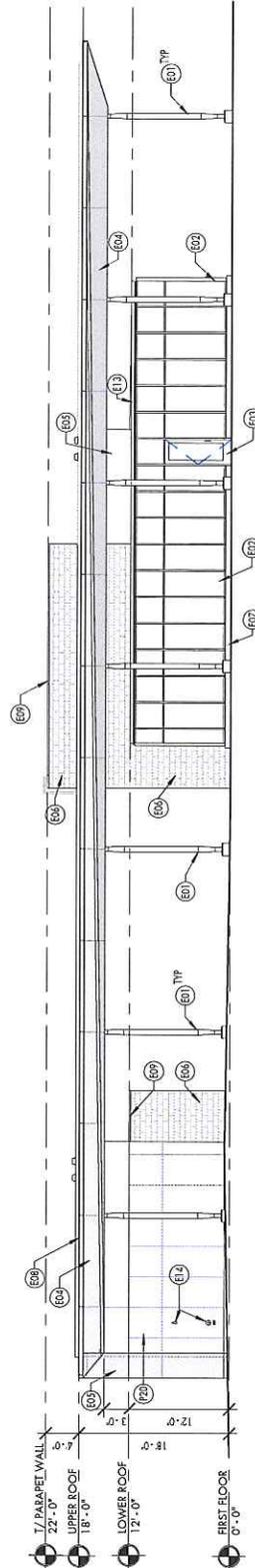
- E01 ICS COLUMN WITH ARCHITECTURAL STEEL COLUMN WRAP. REFER TO STRUCTURAL DRAWINGS AND A3.6 FOR DETAILS.
- E02 CLEAR ANODIZED ALUMINUM STOREFRONT WALL SYSTEM. REFERENCE GLAZING SCHEDULE FOR GLASS TYPE.
- E03 CLEAR ANODIZED ALUMINUM MEDIUM STILE ENTRANCE DOOR AND FRAME. CLEAR TEMPERED LOW-E GLASS.
- E04 COMPOSITE METAL SOFFIT PANEL.
- E05 COMPOSITE METAL WALL PANEL.
- E06 PAINTED CMU BLOCK.
- E07 STOREFRONT SILL FLASHING TO MATCH CLEAR ANODIZED FINISH.
- E08 CUSTOM COLOR METAL COPING TO MATCH METAL WALL PANEL BLOCK.
- E09 THIN PROFILE METAL COPING TO MATCH GROUND FACE CMU BLOCK.
- E10 HOLLOW METAL DOOR IN HOLLOW METAL FRAME. PAINT TO MATCH METAL PANEL.
- E12 STOREFRONT SILL FLASHING TO MATCH STOREFRONT MULLION FINISH.
- E13 METAL COPING TO MATCH STOREFRONT MULLION FINISH.
- E14 SHOWER HEAD AND CONTROL VALVE. SEE PLUMBING DRAWINGS.
- E15 LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- E16 HOSE BIB. REFER TO PLUMBING DRAWINGS.



3 WEST ELEVATION
NOT TO SCALE



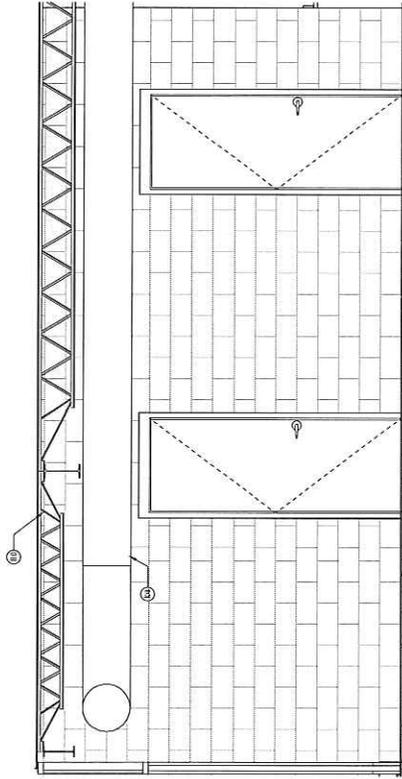
2 SOUTH ELEVATION
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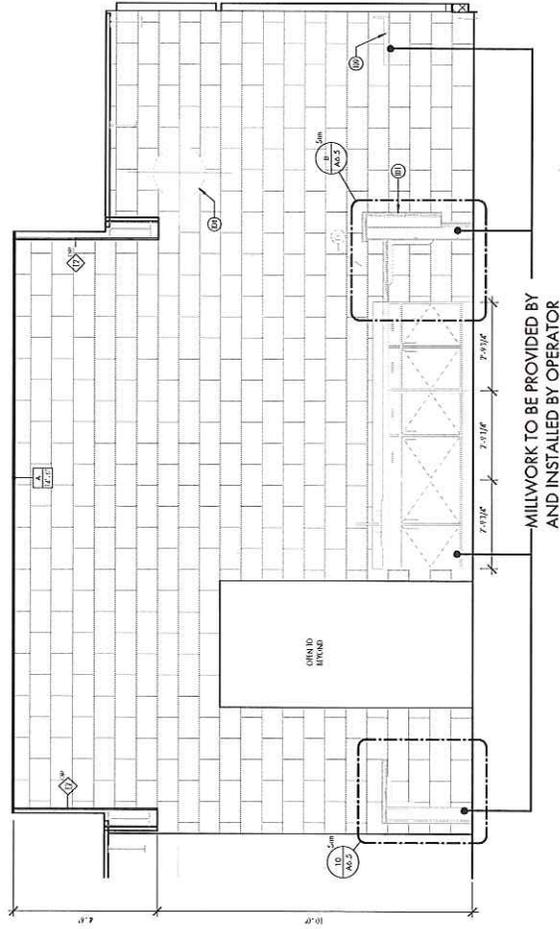
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INTERIOR ELEVATION KEYNOTES

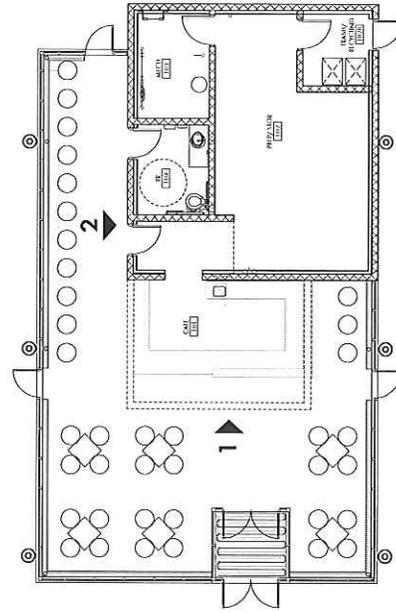
- 101 SOLID SURFACE MILLWORK.
- 102 SOLID SURFACE COUNTERTOP WITH 4" INTEGRAL BACKSPASH.
- 103 STAINLESS STEEL SINK. REFER TO PLUMBING DRAWINGS.
- 104 METAL SUPPORT BRACKET.
- 106 RECESSED LIGHTING COVE. REFER ALSO TO ELECTRICAL DWGS FOR LIGHTING TYPE AT COVE.
- 107 1'-0"X1'-0" ACCESS PANEL IN CMU WALL, CENTERED ABOVE TOILET FITURE.
- 108 MECHANICAL DUCT. REFER TO MECH. DWGS.
- 109 FURNITURE AT CAFE BY OTHERS. NOT IN CONTRACT.
- 110 EXPOSED STRUCTURAL FRAMING. REFER TO STRUCTURAL. REFER ALSO TO FINISH PLANS FOR PAINT FINISH.
- 111 ELECTRICAL PANEL TYP. REFER TO ELECTRICAL DWGS.
- 112 PIT FOR FOUNTAIN PUMP EQUIPMENT. REFER TO FOUNTAIN CONSULTANT DWGS.



2 CAFE INTERIOR ELEVATION
NOT TO SCALE



1 CAFE INTERIOR ELEVATION
NOT TO SCALE



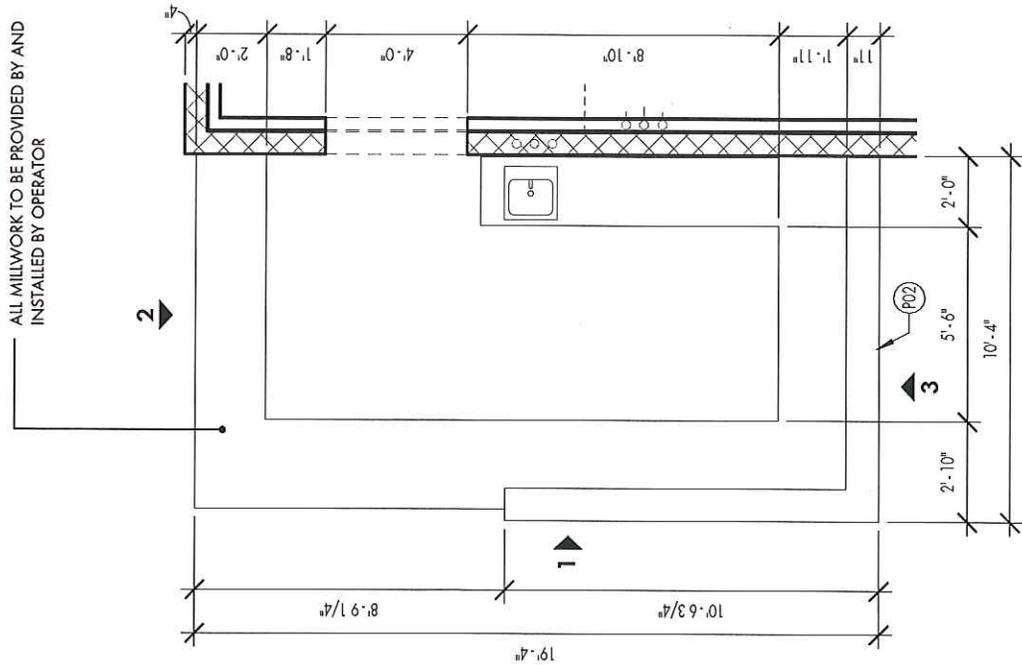
KEY PLAN

ADDITIONAL FINISHES

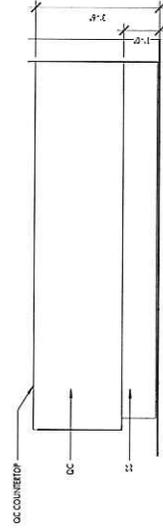
- SS** TYPE: SOLID SURFACE
MFG: HANWHA L&C
COLOR: NEO WHITE - HL003
- QC** TYPE: QUARTZ COUNTERTOP
MFG: HANWHA L&C
COLOR: SANDCASTLE - CL106

INTERIOR ELEVATION KEYNOTES

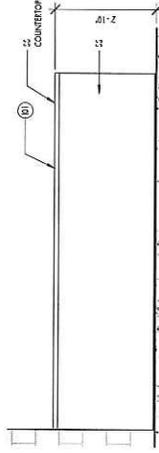
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- 110 EXPOSED STRUCTURAL FRAMING. REFER TO STRUCTURAL. REFER ALSO TO FINISH PLANS FOR PAINT FINISH.
- 111 ELECTRICAL PANEL. TYP. REFER TO ELECTRICAL DWGS.
- 112 PIT FOR FOUNTAIN PUMP EQUIPMENT. REFER TO FOUNTAIN CONSULTANT DWGS.



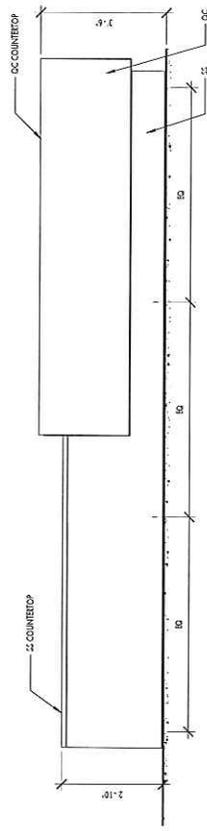
ENLARGED CAFE MILLWORK PLAN
NOT TO SCALE



3 SOUTH ELEVATION
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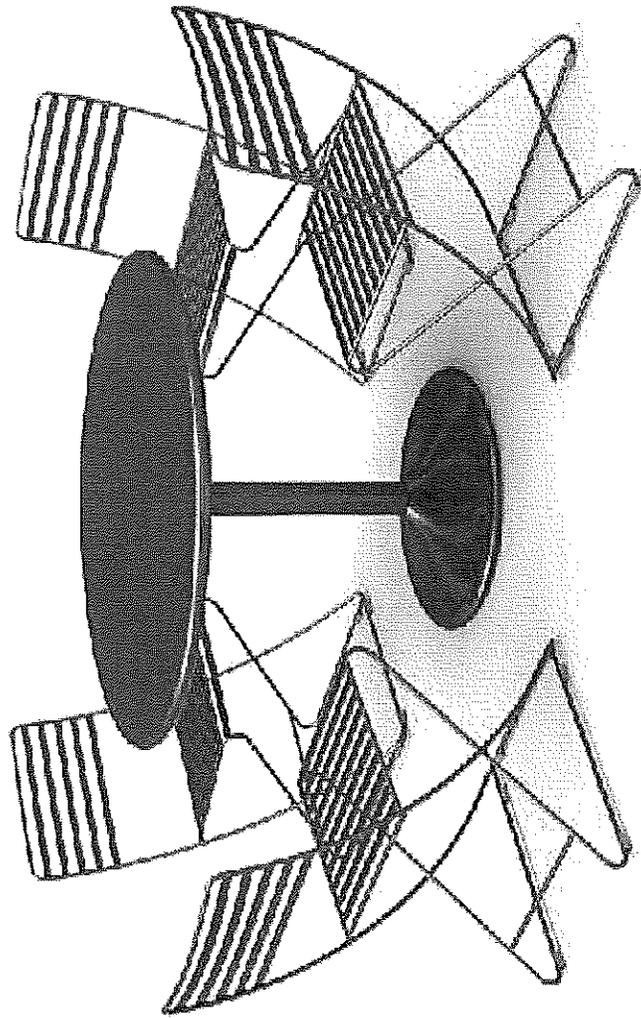


2 NORTH ELEVATION
NOT TO SCALE



1 WEST ELEVATION
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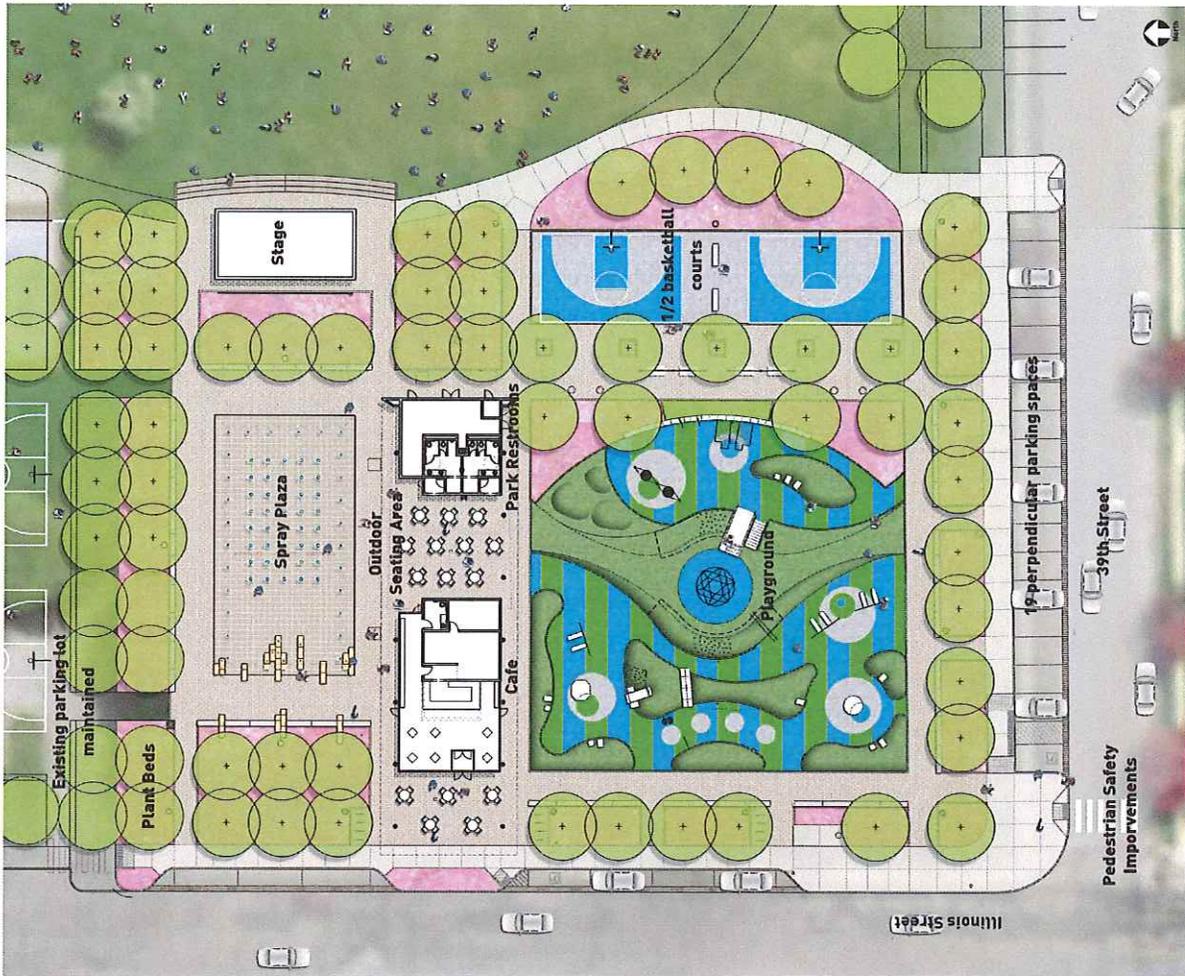






Tarkington Park Master Plan

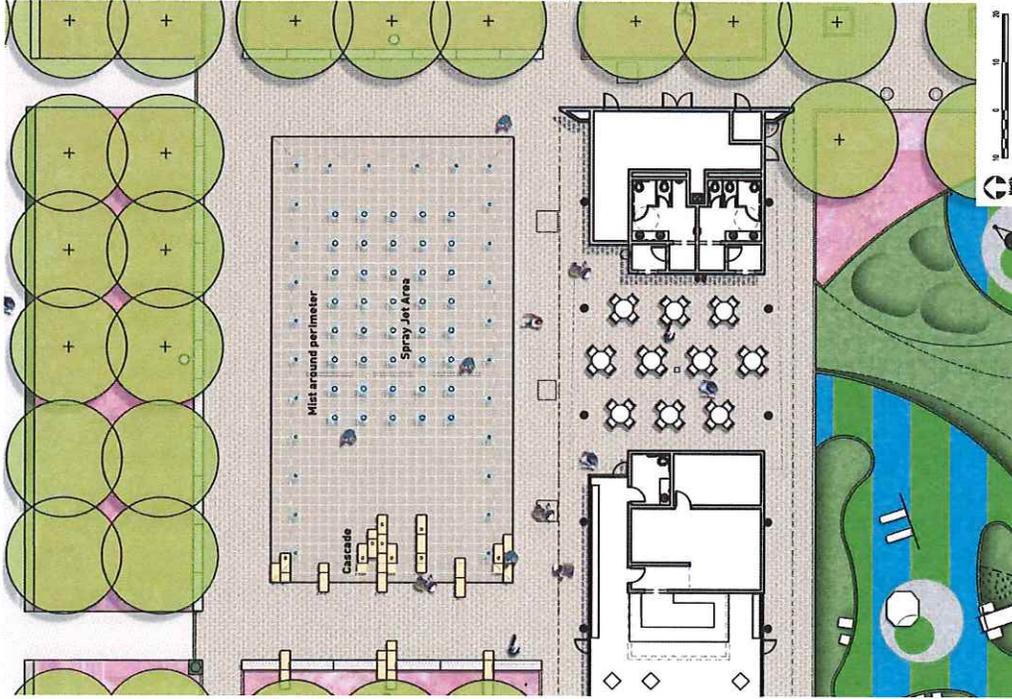
Master Plan and Phase 01



Phase 01 Improvements

Tarkington Park

Phase 01 Improvements

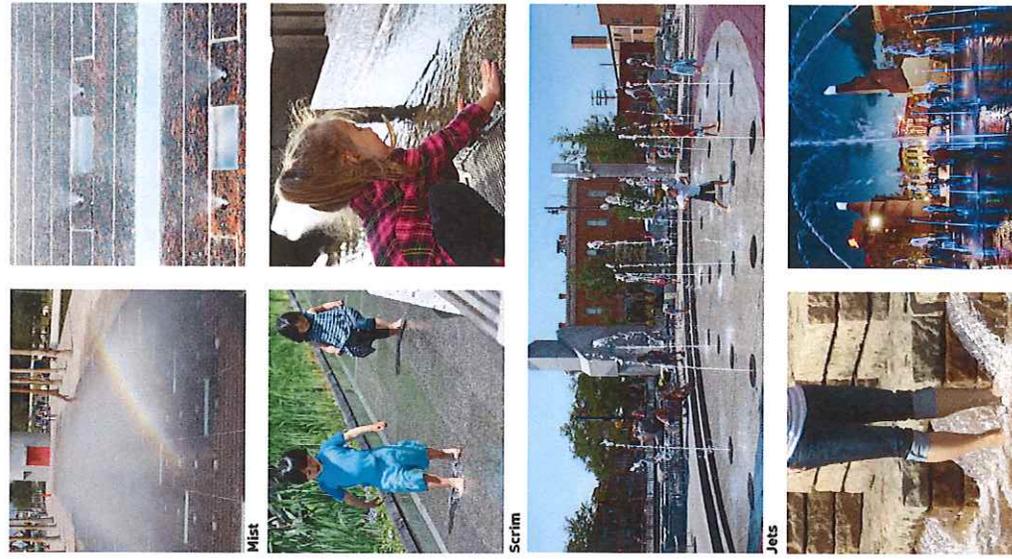


Spray Plaza



Overall view of spray plaza

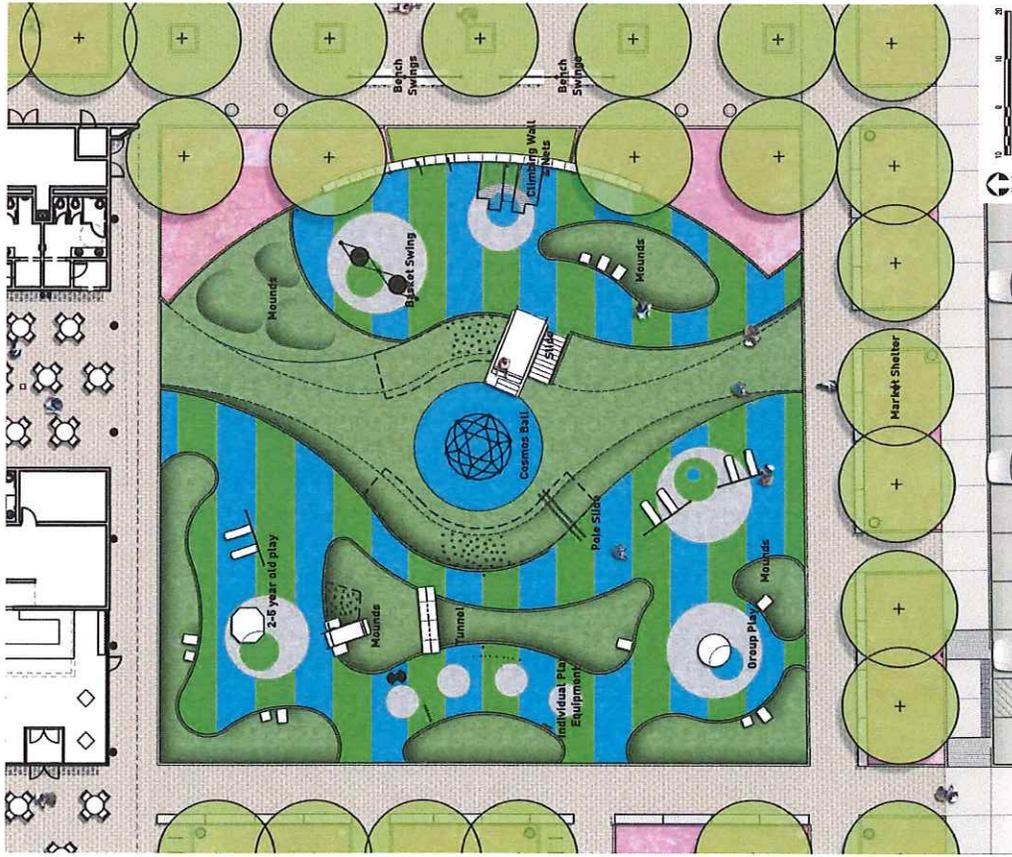
Tarkington Park
Phase 01 Improvements



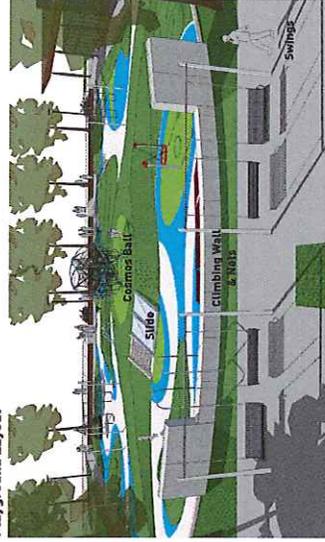
Lighting



PHOTO COURTESY OF THE UNIVERSITY OF ILLINOIS AT CHICAGO



Playground



**Tarkington Park
Phase 01 Improvements**

